

**VILLAGE OF POMONA**  
**ZONING BOARD OF APPEALS MEETING**  
**JULY 16, 2025 – 7:30PM**

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. APPROVAL OF RESOLUTIONS (NONE)**
- 5. 9 Cheesecote Ln**
- 6. 34 North Ridge Rd**
- 7. 8 Ladentown Rd**
- 8. NEW BUSINESS**
- 9. ADJOURNMENT**

**May 1<sup>st</sup>, 2025**

**9 Cheesecote Lane, Pomona NY 10970**

**Project Narrative – Variance Request for Pool**

We are requesting a variance to allow the construction of a pool and pool house on a uniquely shaped and topographically challenging lot. This request is driven by several specific site constraints that prevent us from fully complying with standard zoning setback requirements.

First, the lot faces significant natural obstacles, including a steep slope and exposed rock formations along the left side of the rear yard, as documented in the photos provided. These conditions make a large portion of the backyard unusable for development. Additionally, the lot is irregularly shaped, resembling a "pizza slice," which further limits the ability to place the pool and pool house within the standard buildable area. Adhering strictly to the required setbacks would force the pool too close to the house and eliminate the only flat, usable portion of the yard.

The proposed variance is modest in nature, as it pertains only to accessory structures—the pool and pool house—and not to the primary residence. These additions are intended to enhance the functionality and enjoyment of the outdoor space without altering the home's existing footprint or affecting the overall character of the property.

The variance will not have any negative impact on adjacent properties. The homes directly behind our lot sit approximately 50 feet higher in elevation, placing the proposed structures well below their line of sight. Furthermore, mature trees and dense vegetation provide a natural screen between properties, ensuring complete visual privacy. Letters of support have been obtained from all directly adjacent neighbors, with the exception of the parkland, which is undeveloped and not privately owned.

Lastly, the project will have no impact on the adjacent parkland, which consists of miles of wooded, undevelopable land that is not open to the public. The nearest hiking trail is over 300 feet away from our property line, and given the distance and natural screening, there will be no visibility or disruption to the area's natural setting.

Given these factors, we believe the requested variance is reasonable, non-substantial, and necessary to allow for the safe and functional use of the property in a way that aligns with the neighborhood's character and zoning intent.

# APPLICATION REVIEW FORM

## PART I

Name of Municipality Pomona Date 4/21/2025

*Please check all that apply:*

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input checked="" type="checkbox"/> Zoning Board of Appeals* <i>(*Fill out Parts I &amp; II of this form)</i>	<input type="checkbox"/> Historical Board
	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision _____ # of Lots _____	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Final
<input type="checkbox"/> Conditional Use	
<input type="checkbox"/> Zoning Code Amendment	
<input type="checkbox"/> Zone Change	
<input checked="" type="checkbox"/> Variance	

**Project Name:** 9 Cheesecote Lane-Pool Project

**Tax Map Designation:**

Section 19.17 Block 1 Lot(s) 55.1  
Section \_\_\_\_\_ Block \_\_\_\_\_ Lot(s) \_\_\_\_\_

**Location:** On the North side of Overlook Drive,  
308 feet East of North Ridge Road in the  
town/village of Pomona

**Street Address:** 9 Cheesecote Lane

**Acres of Parcel** 0.758 **Zoning District** Pomona

**School District** Haverstraw-Stony Point **Postal District** Pomona

**Fire District** Moleston **Ambulance District** Haverstraw

**Water District** Town of Haverstraw **Sewer District** 1

**Project Description:** *(If additional space required, please attach a narrative summary.)*

See attached narrative.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## APPLICATION REVIEW FORM

**If subdivision:**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

**If special permit**, list special permit use and what the property will be used for.

---

---

**Environmental Constraints:**

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area. N/a

Are there **streams** on the site? If yes, please provide the names. N/a

Are there **wetlands** on the site? If yes, please provide the names and type. N/a

**Project History:** Has this project ever been reviewed before? N/a

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

---

---

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

Tax Map Section 19.17 Block 1

Lots 52, 53, 54 & 55

## APPLICATION REVIEW FORM

**Contact Information:**

Applicant: Rachel Lieberman Phone # \_\_\_\_\_

Address 9 Cheesecote Lane Pomona NY 10970  
Street Name & Number (Post Office) State Zip code

Property Owner: Rachel Lieberman Phone # \_\_\_\_\_

Address 9 Cheesecote Lane Pomona NY 10970  
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Civil-Tec Phone # 845-547-2241

Address 139 Lafayette Avenue Suffern NY 10901  
Street Name & Number (Post Office) State Zip code

Attorney: \_\_\_\_\_ Phone # \_\_\_\_\_

Address \_\_\_\_\_  
Street Name & Number (Post Office) State Zip code

Contact Person: \_\_\_\_\_ Phone # \_\_\_\_\_

Address \_\_\_\_\_  
Street Name & Number (Post Office) State Zip code

**General Municipal Law Review:**

This property is within 500 feet of:  
*(Check all that apply)*

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- |   |  |
|---|--|
| <input type="checkbox"/> State or County Road | <input checked="" type="checkbox"/> State or County Park |
| <input checked="" type="checkbox"/> Long Path | <input type="checkbox"/> County Stream                   |
| <input type="checkbox"/> Municipal Boundary   | <input type="checkbox"/> County Facility                 |

List name(s) of facility checked above. Long Path Section 5  
Cheesecote Mountain Town Park

**Referral Agencies:** *(Please make sure that the appropriate agencies as needed received copies of your application and plans for their review.)*

- |  |  |
|--|--|
| <input type="checkbox"/> RC Highway Department                           | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency                              | <input type="checkbox"/> RC Dept. of Health                      |
| <input type="checkbox"/> NYS Dept. of Transportation                     | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority                           | <input type="checkbox"/> Palisades Interstate Park Comm.         |
| <input type="checkbox"/> Adjacent Municipality _____                     |  |
| <input checked="" type="checkbox"/> Other <u>Zoning Board of Appeals</u> |  |

**\*\*All applicants must send copies of their applications and plans to:**  
 Orange and Rockland, Regional manager, 75 West Route 59, Spring Valley, NY 10997.



## APPLICATION REVIEW FORM

C. To the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of N/a in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee None
- b. Nature of interest \_\_\_\_\_
- c. If stockholder, number of shares \_\_\_\_\_
- d. If officer or partner, nature of office and name of partnership \_\_\_\_\_
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. \_\_\_\_\_

f. In the event of corporate or limited liability company ownership: A list of all directors, officers and stockholders of each corporation or members of each limited liability company owning more than five (5%) percent of any class of stock or more than five (5%) percent beneficial interest, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of \_\_\_\_\_.

D. I do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

**4. Reimbursement for Professional Consulting Services.** I understand that the Town/Village Board, Planning Board, Zoning Board of Appeals, and other municipal boards, in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such application as required by law. The charges made by such consultants shall be in accord with charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the town/village and each such consultant for the cost of such consultant services upon receipt of the bill.

APPLICATION REVIEW FORM

5. Application Fee(s)

I, Rachel Lieberman, have paid to the Town/Village Clerk and/or Treasurer, the required fee for this application. (The fee is subject to the Schedule of Fees of the municipality). I shall review a copy of the zoning Local Law and Land Development Regulations, and be ready and prepared to review this application when scheduled. The Municipal Board, Planning Board, or Zoning Board of Appeals in the review of any application described above, may refer the subject application to an engineering, planning, environmental, or other technical consultant as such Board shall deem reasonably necessary to enable it to review the application as required by law.

*\*\*The following paragraph is optional to add if your municipality establishes escrow accounts:*

(I agree to establish an escrow account with the Town/Village of \_\_\_\_\_ from which these consultants' fees will be paid. The escrow account will not draw interest, and will be replenished upon notification by the Town/Village. Any additional sums needed to pay the Town's/Village's consultants shall be paid prior to final action on the application. The Town/Village may suspend processing of the application if there is a deficiency in the escrow account. Permits will not be issued and site plan or subdivision will not be signed until bill is paid in full. Any sums remaining in the escrow account after the consultants have been paid in full will be returned to the applicant. The applicant has the right to examine escrow and payment records upon prior written notice to the Town/Village.)

Applicant's Signature

*Rachel Lieberman*

Print Applicant's Name

Rachel Lieberman

SWORN to before me this 3<sup>th</sup> day of May, 2025

*[Handwritten Signature]*

Notary Public

JOEL LITCHFIELD  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01LI6444995  
Qualified in Rockland County  
Commission Expires 12/05/2026

I have received from Rachel Lieberman the sum of \_\_\_\_\_ on this date \_\_\_\_\_

Reviewed by the \_\_\_\_\_ on \_\_\_\_\_ Municipal Clerk/Treasurer

Action Taken: \_\_\_\_\_

APPLICATION REVIEW FORM

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Pomona)

I, Rachel Liberman being duly sworn, hereby
depose and say that I reside at: 9 Cheesecote Lane, Pomona NY 10970

in the county of Rockland in the state of New York

I am the (\* N/a ) owner in fee simple of premises located at:
9 Cheesecote Lane, Pomona NY 10970

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber 2023 of conveyances, page 25610 or as Instrument ID #

Said premises have been in my/its possession since 8/22/2023 Said premises are also
known and designated on the Town of Haverstraw Tax Map as:
section 19.17 block 1 lot(s) 55.1

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner Rachel Lieberman
Mailing Address 9 Cheesecote Lane
Pomona, NY 10970

SWORN to before this
5th day of May, 2025
Notary Public

JOEL LITCHFIELD
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LI6444995
Qualified in Rockland County
Commission Expires 12/05/2026

\* If owner is a corporation or LLC, fill in the office held by deponent and name of
corporation or LLC, and provide a list of all directors, officers, and stockholders
owning more than 5% of any class of stock and all members having greater than 5%
beneficial interest.

APPLICATION REVIEW FORM

Owners of Nearby Properties:

That the following are all of the owners of property within 500 feet (distance) from the premises as to which this application is being taken.

SECTION/BLOCK/LOT	NAME	ADDRESS
19.17-1-51	Lazar Moshe	25 North Ridge Road, Pomona
19.17-1-63	Dembinsky Dov	26 North Ridge Road, Pomona
19.17-1-52	Raanan Zidile	27 North Ridge Road, Pomona
19.17-1-53	Rafi Tzur	29 North Ridge Road, Pomona
19.17-1-54	Yoel Setton	31 North Ridge Road, Pomona
19.17-1-56	Atzour Efrat	5 Cheesecote Lane, Pomona
19.17-1-55	Motti Rubin	7 Cheesecote Lane, Pomona
Cheesecote Town Park		

(use additional paper if needed)

SWORN to before this

5th

day of

May

2025

Notary Public

# APPLICATION REVIEW FORM

## PART II\*

### Application before the Zoning Board of Appeals

Application, petition, or request is hereby submitted for:

- Area Variance from the requirement of Section 130 \_\_\_\_\_;
- Use Variance from the requirement of Section \_\_\_\_\_;
- Special permit per the requirements of Section \_\_\_\_\_;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) \_\_\_\_\_;

To permit construction, maintenance and use of a swimming pool.

#### Previous Appeal:

- a. A previous appeal \_\_\_ has, or  has not, been made with respect to this property.
- b. Such appeal was in the form of:
  - \_\_\_ An AREA Variance; or
  - \_\_\_ A USE Variance; or
  - \_\_\_ Appeal from decision of Town Official or Officer; or
  - \_\_\_ Interpretation of the Zoning Ordinance or Map; or
  - \_\_\_ Other
- c. The previous appeal described above was appeal number \_\_\_\_\_,  
dated \_\_\_\_\_ and was \_\_\_\_\_ (Granted/Denied).

**TO ALL APPLICANTS:** Complete all relevant information by the section or sections pertaining to your appeal ONLY. You may also include extra pages to supplement this form with a narrative explanation. At the time of the hearing, you must present written documentation in support of all the statements made in this application. You must also substantiate all financial information supplied.

## APPLICATION REVIEW FORM

**A. AREA VARIANCE** (This section to be completed only for an AREA variance. Use additional pages, if needed.)

This application seeks a variance from the provisions of Article IX, Section(s) 130. Specifically, the applicant seeks a variance from the requirements from:

Dimension*	Column	Required	Provided
Rear Set back		30 Ft	5Ft
Min Side Yard		25Ft	5Ft
<u>Min Lot Width (existing)</u>		<u>150 FT</u>	<u>121 FT</u>
<u>Min Lot Frontage (existing)</u>		<u>100 FT</u>	<u>30 FT</u>
<u>Min Lot Area (existing)</u>		<u>40,000 SF</u>	<u>33,003 SF</u>

\*e.g., front yard, side setback, FAR, etc.

1. Is the requested variance the minimum necessary to relieve the practical difficulty or economic injury? NO This lot presents unique challenges due to the significant rock and slope conditions on the left side of the rear yard, as documented in the photos provided. Additionally, the irregular, pizza-shaped configuration of the lot makes it particularly difficult to meet standard setback requirements without placing the pool too close to the house. Strict adherence to setbacks would also eliminate the only usable flat portion of the yard, effectively preventing the reasonable use of the property for outdoor living

2. Is the variance substantial in relation to the zoning code? NO  
**Explain:** This is not a substantial variance because it applies only to accessory structures--the pool and pool house--not the primary residence. These structures are smaller in scale and have a lesser impact on the overall use and appearance of the property.

3. Will a substantial change be produced in the character of the neighborhood, or a substantial detriment to adjoining property owners be created, if this variance is granted? NO  
**Explain:** The requested variance is not significant in impact, as the adjacent properties sit approximately 50 feet higher in elevation, placing the proposed pool entirely out of their line of sight. Additionally, the area is well-screened by mature trees and dense vegetation, providing natural privacy and minimizing any visual or noise impact. Letters of support from the directly adjacent neighbors further demonstrate that the proposed pool will not negatively affect surrounding properties or the character of the neighborhood.

4. Can the alleged practical difficulty or economic injury be overcome by some method other than a variance? NO  
**Explain:** This lot presents unique challenges due to the significant rock and slope conditions on the left side of the rear yard, as documented in the photos provided. Additionally, the irregular, pizza-shaped configuration of the lot makes it particularly difficult to meet standard setback requirements without placing the pool too close to the house. Strict adherence to setbacks would also eliminate the only usable flat portion of the yard, effectively preventing the reasonable use of the property for outdoor living

## APPLICATION REVIEW FORM

5. Will the granting of this variance affect the health, safety, or welfare of the neighborhood or community? No

Explain: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. Will there be any affect on governmental facilities or services if this variance is granted? No

Describe: I will be using existing utilities already provided to the house.  
\_\_\_\_\_  
\_\_\_\_\_

7. Other factors I/we wish the Board to consider in this case are

The proposed variance will have no impact on the adjacent parkland, as the surrounding area consists of dense wooded terrain that stretches for miles and is not open to the public or intended for future development. The nearest walking path that passes through this area is over 300 feet from the property line, ensuring that any activity within the yard, including use of the pool, will remain completely out of sight and sound. Given the distance, natural screening, and lack of public access, the proposed pool will not affect the character, use, or enjoyment of the adjacent parkland.

**B. USE VARIANCE** *(This section to be completed only for a USE variance. Use additional pages, if needed.)*

1. This property cannot be used for any uses currently permitted in this zone because:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. The problem with this property is due to unique circumstances and not to the general conditions of the neighborhood in that:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. The use requested by this variance will not alter the essential character of the neighborhood in that:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. The amount paid for the entire parcel was: \_\_\_\_\_

5. The date of purchase of the property was: \_\_\_\_\_

6. The present value of the entire property is: \_\_\_\_\_

7. The monthly expenses attributed to normal and usual maintenance of the property are: \_\_\_\_\_

8. The annual taxes on the property are: \_\_\_\_\_

## APPLICATION REVIEW FORM

9. The current income from the property is: \_\_\_\_\_

10. The amount of mortgages and other encumbrances on the property in question is:

a. Date of mortgage: \_\_\_\_\_

b. Scheduled maturity (payoff) date: \_\_\_\_\_

c. Present monthly payment amount: \_\_\_\_\_

d. Current principal balance: \_\_\_\_\_

e. Current interest rate: \_\_\_\_\_

11. Other factors I/we wish the Board to consider in this case are:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**C. APPEAL OF DECISION OF BUILDING INSPECTOR** *(This section to be completed for an appeal, only. Use additional pages, if needed.)*

1. Name and position of official making the decision:

\_\_\_\_\_

2. Nature of decision:

\_\_\_\_\_  
\_\_\_\_\_

3. The decision described above is hereby appealed because:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**D. INTERPRETATION OF ZONING CODE** *(This section to be completed for an interpretation, only. Use additional pages, if needed.)*

1. Section(s) to be interpreted: \_\_\_\_\_

2. An interpretation of the Zoning Code is requested because:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# VILLAGE OF POMONA

100 LADENTOWN ROAD

POMONA, N.Y. 10970

Phone (845) 354-0545 ~ Fax (845) 354-0604

April 11, 2025

Ms. Rachel Lieberman

9 Cheesecote Ln

Pomona NY 10970

RE: Review of a Building permit submitted for a pool, for variances.

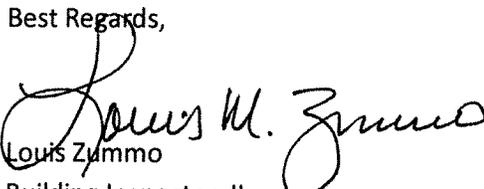
Dear Ms. Lieberman:

Please be advised that the Site plan from Civil Tec dated April 22, 2025 has been reviewed and a permit cannot be issued at this time due to the application requiring several variances listed below.

- 1) Minimum Lot Area – Required – 40,000 SF Provided - 33,003 SF - Variance 17.5%
- 2) Minimum Lot Frontage – Required – 100 FT Provided – 30 FT – Private Rd Variance 70%
- 3) Minimum Lot Width – Required 150 FT Provided – 121 FT Variance 19.3%
- 4) Minimum Side Yard – Required – 25 FT Provided – 5 FT Variance 80%
- 5) Minimum rear Yard – Required – 30 FT Provided – 5 FT Variance 83%

Please correct the number in the Bulk Table for the Max Building Height. The proposed height is listed as "2 Stories" this is not an actual height. An actual measurement is required.

Best Regards,

  
Louis Zummo

Building Inspector II

Village of Pomona NY

**Raanan Zidile**

27 North Ridge Road  
Pomona, NY 10970  
Block/Lot: 19.17-1-52  
February 25, 2025

**Village of Pomona**  
Zoning Board

**RE: 9 Cheesecote Lane – Building Permit Application for Pool**

**To Whom It May Concern,**

I, Raanan Zidile, am the owner of the property located at 27 North Ridge Road, which is directly adjacent to 9 Cheesecote Lane. I have reviewed the proposed pool plans as detailed in the Civil-Tech drawings dated November 19, 2024 (REV 1), and I am writing to express my support for this application.

I understand that my neighbors, Rachel Lieberman and Mark Moseson, are applying for a building permit to construct a new pool and pool house within five (5) feet of the property line. Given that the pool will be at a significantly lower elevation and will not be visible from my property, I do not foresee any disturbances or negative impacts.

Rachel Lieberman and Mark Moseson have been excellent neighbors, and I have no objections to their proposed project. I respectfully request that the Village of Pomona Zoning Board approve the necessary variances for their building permit.

Please feel free to contact me should you require any additional information.

**Sincerely,**

**Raanan Zidile**

\_\_\_\_\_  
Signature

**3/28/25**

Date

**Motti Rubin**  
7 Cheesecote Lane  
Pomona, NY 10970  
Block/Lot: 19.17-1-55  
February 25, 2025

**Village of Pomona**  
Zoning Board

**RE: 9 Cheesecote Lane – Building Permit Application for Pool**

**To Whom It May Concern,**

I, Motti Rubin, am the owner of the property located at 7 Cheesecote Lane, which is directly adjacent to 9 Cheesecote Lane. I have reviewed the proposed pool plans as detailed in the Civil-Tech drawings dated November 19, 2024 (REV 1), and I am writing to express my support for this application.

I understand that my neighbors, Rachel Lieberman and Mark Moseson, are applying for a building permit to construct a new pool and pool house within five (5) feet of the rear property line. Given that the pool will be at a significantly lower elevation and will not be visible from my property, I do not foresee any disturbances or negative impacts.

Rachel Lieberman and Mark Moseson have been excellent neighbors, and I have no objections to their proposed project. I respectfully request that the Village of Pomona Zoning Board approve the necessary variances for their building permit.

Please feel free to contact me should you require any additional information.

**Sincerely,**

**Motti Rubin**

  
Signature

3/28/25  
Date

**Rafi Tzur**  
29 North Ridge Road  
Pomona, NY 10970  
Block/Lot: 19.17-1-53  
February 25, 2025

**Village of Pomona**  
Zoning Board

**RE: 9 Cheesecote Lane – Building Permit Application for Pool**

**To Whom It May Concern,**

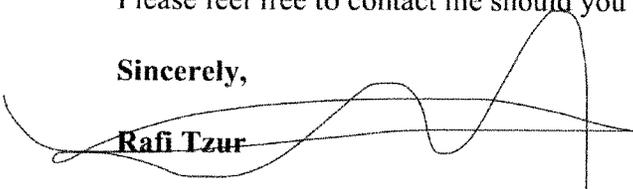
I, Rafi Tzur, am the owner of the property located at 29 North Ridge Road, which is directly adjacent to 9 Cheesecote Lane. I have reviewed the proposed pool plans as detailed in the Civil-Tech drawings dated November 19, 2024 (REV 1), and I am writing to express my support for this application.

I understand that my neighbors, Rachel Lieberman and Mark Moseson, are applying for a building permit to construct a new pool and pool house within five (5) feet of the property line. Given that the pool will be at a significantly lower elevation and will not be visible from my property, I do not foresee any disturbances or negative impacts.

Rachel Lieberman and Mark Moseson have been excellent neighbors, and I have no objections to their proposed project. I respectfully request that the Village of Pomona Zoning Board approve the necessary variances for their building permit.

Please feel free to contact me should you require any additional information.

Sincerely,

  
**Rafi Tzur**

\_\_\_\_\_  
Signature

5/4/2025

\_\_\_\_\_  
Date

**Yoel Setton**

31 North Ridge Road

Pomona, NY 10970

Block/Lot: 19.17-1-54

February 25, 2025

**Village of Pomona**

Zoning Board

**RE: 9 Cheesecote Lane – Building Permit Application for Pool**

**To Whom It May Concern,**

I, Yoel Setton, am the owner of the property located at 31 North Ridge Road, which is directly adjacent to 9 Cheesecote Lane. I have reviewed the proposed pool plans as detailed in the Civil-Tech drawings dated November 19, 2024 (REV 1), and I am writing to express my support for this application.

I understand that my neighbors, Rachel Lieberman and Mark Moseson, are applying for a building permit to construct a new pool and pool house within five (5) feet of the property line. Given that the pool will be at a significantly lower elevation and will not be visible from my property, I do not foresee any disturbances or negative impacts.

Rachel Lieberman and Mark Moseson have been excellent neighbors, and I have no objections to their proposed project. I respectfully request that the Village of Pomona Zoning Board approve the necessary variances for their building permit.

Please feel free to contact me should you require any additional information.

**Sincerely,**

**Yoel Setton**

  
\_\_\_\_\_  
Signature

02/27/2025

\_\_\_\_\_  
Date

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

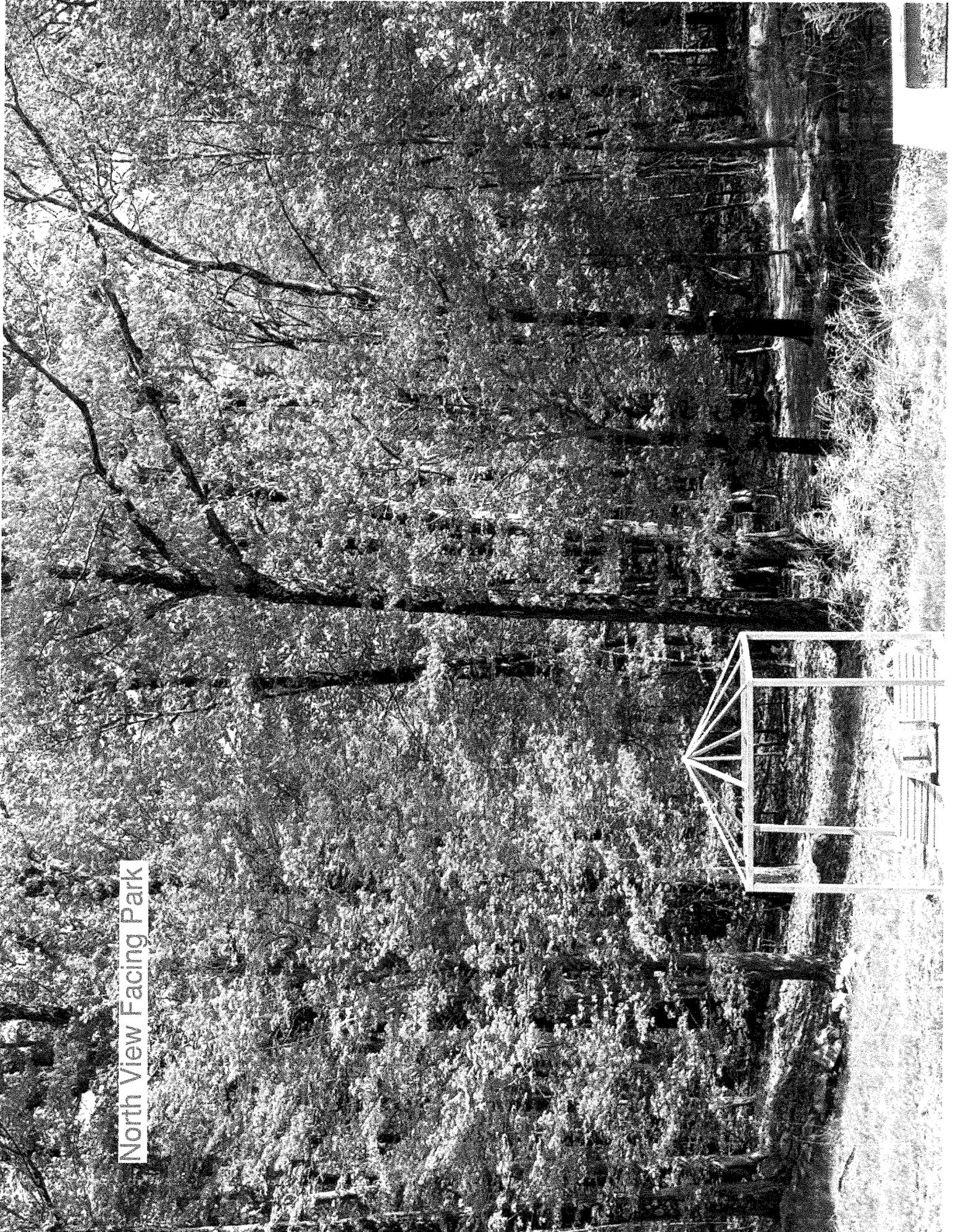
<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: 9 Cheesecote Lane			
Project Location (describe, and attach a location map): 9 Cheesecote Lane Pomona, NY 10970			
Brief Description of Proposed Action: proposed pool, pool house, fish pond, outdoor kitchen, and deck of pervious pavers			
Name of Applicant or Sponsor: Rachel Lieberman		Telephone: 845-494-9996	
		E-Mail: mark@landmarknyc.net	
Address: 9 Cheesecote Lane			
City/PO: Pomona		State: NY	Zip Code: 10970
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: variance-ZBA			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		.76 acres	
b. Total acreage to be physically disturbed?		.4 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.76 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input checked="" type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

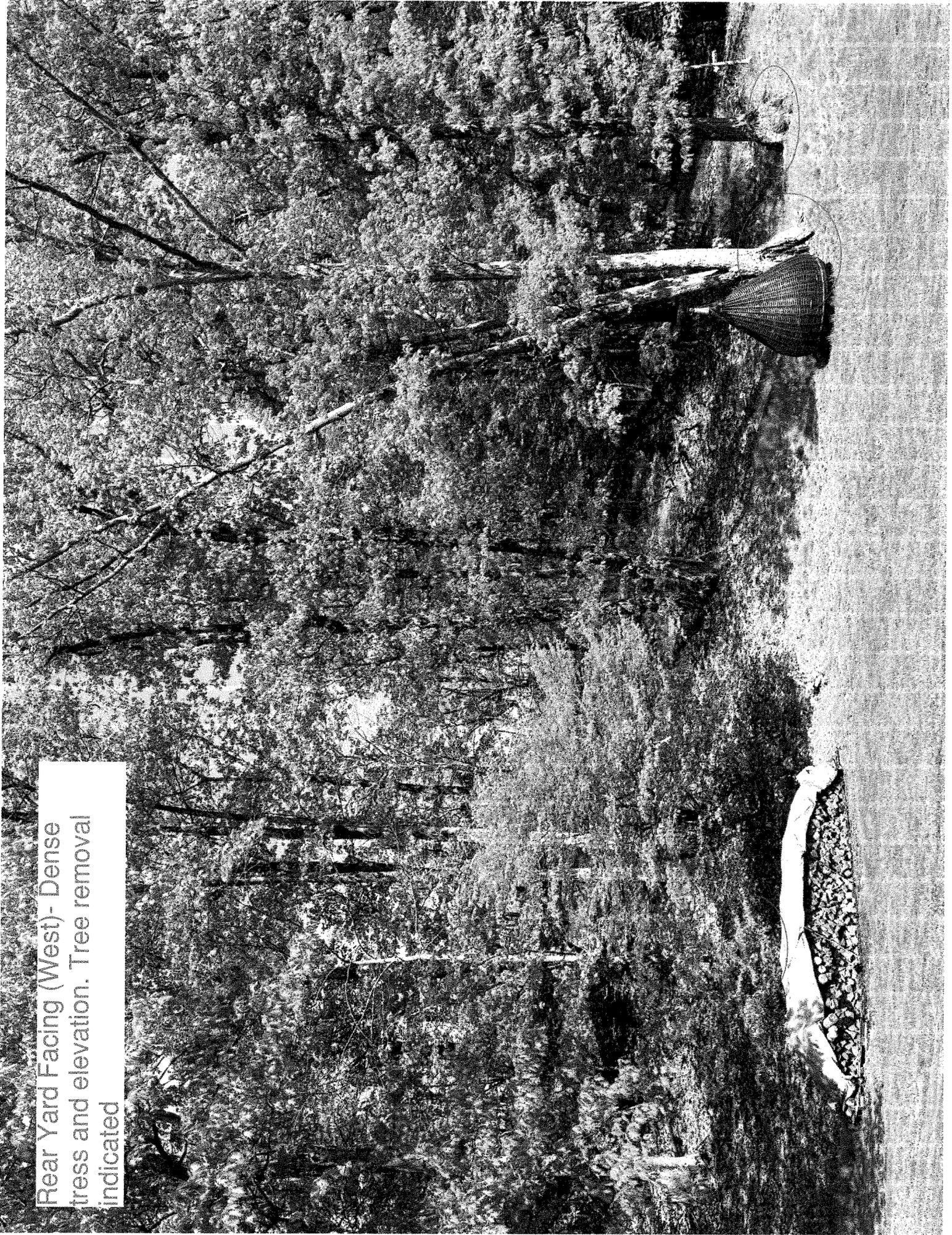




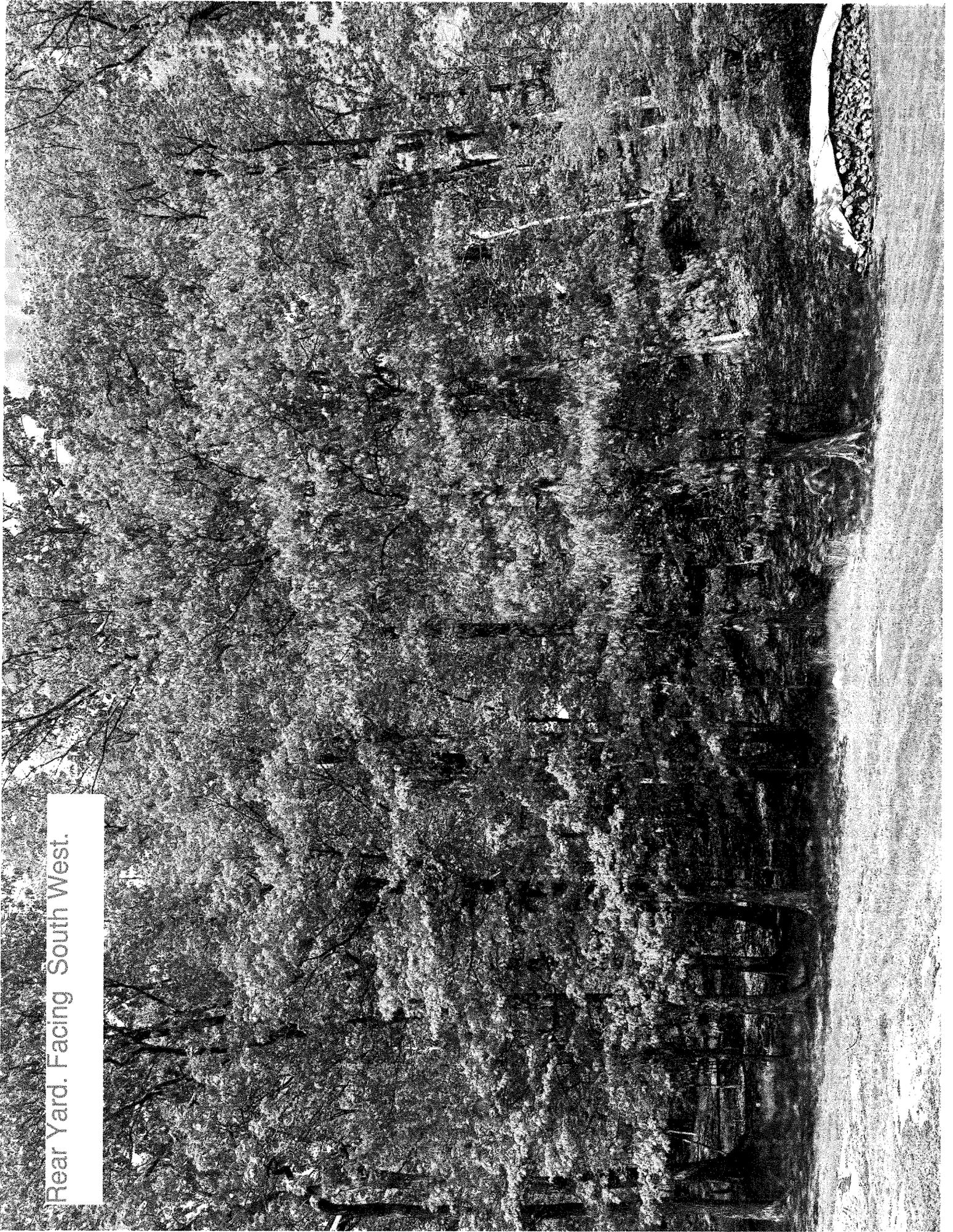
North View Facing Park



Rear Yard Facing (West)- Dense  
tress and elevation. Tree removal  
indicated



Rear Yard. Facing South West.





19.17 - 1 - 52  
N/F ZIDILE  
C29

19.17 - 1 - 53  
N/F CHITIYO  
C30

19.17 - 1 - 54  
N/F SETTON  
C31

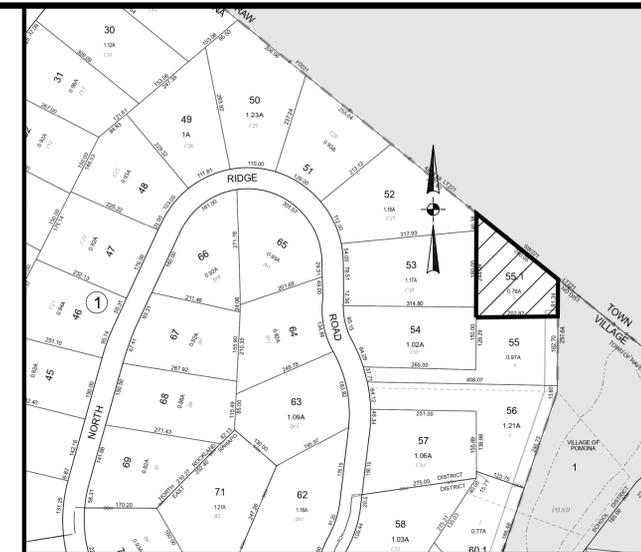
19.17 - 1 - 55  
N/F RUBIN  
C4

19.17 - 1 - 55.1  
33,003 Sq. Feet  
0.758 Acres  
C5

20' WIDE UTILITIES EASEMENT

15' WIDE SANITARY SEWER EASEMENT

30' WIDE EASEMENT FOR INGRESS, EGRESS & UTILITIES



VICINITY MAP  
1" = 200'

GENERAL NOTES

- RECORD OWNER AND APPLICANT: RACHEL LIEBERMAN  
9 CHEESECOTE LANE  
POMONA, NY 10970
- BASED ON THE VILLAGE OF POMONA TAX MAP, THIS LOT IS 55.1 ON MAP 19.17 BLOCK 1.
- AREA OF PROPERTY: 33,003 SQUARE FEET OR 0.758 ACRES
- BOUNDARY COMPLETED BY CIVIL TEC ENGINEERING & SURVEYING PC ON AUGUST 16, 2023.

BULK TABLE R-40 Single Family Residence										
Zone: R-40	Min. Lot Area	Min. Lot Frontage	Min. Lot Width	Min. Lot Depth	Min. Front Yard	Min. Side Yard	Min. Rear Yard	Max. Building Height	Max. Lot Coverage	Max. Building Coverage
Required	40,000 SF	100 FT	150 FT	140 FT	50 FT	25 FT	30 FT	35 FT	20%	15%
Provided	33,003 SF*	20.5 FT*	202 FT	202 FT	85.1 FT	5 FT**	5 FT**	2 Stories	20%	9.8%

\*Existing Condition  
\*\*Variance Required

LOT COVERAGE:

EXISTING	PROPOSED	
DWELLING	DWELLING	2,885 SF
DRIVEWAY	DECKS	1,062 SF
DECKS	HOT TUB	49 SF
WALKWAYS/STAIRS	POOL	1,141 SF
TOTAL	POOL HOUSE	353 SF
	SPLASH PAD	198 SF
	OUTDOOR KITCHEN	53 SF
	FISH POND	101 SF
	WALKWAY/STAIRS	704 SF
	TOTAL	6,546 SF

TOTAL IMPERVIOUS COVERAGE:

8,726 SF / 33,003 SF = 0.264

BUILDING COVERAGE:

DWELLING	2,885 SF
POOL HOUSE	353 SF
TOTAL	3,238 SF

TOTAL IMPERVIOUS COVERAGE:

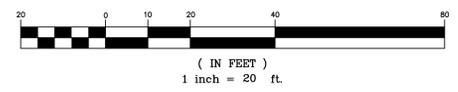
3,238 SF / 33,003 SF = 0.098

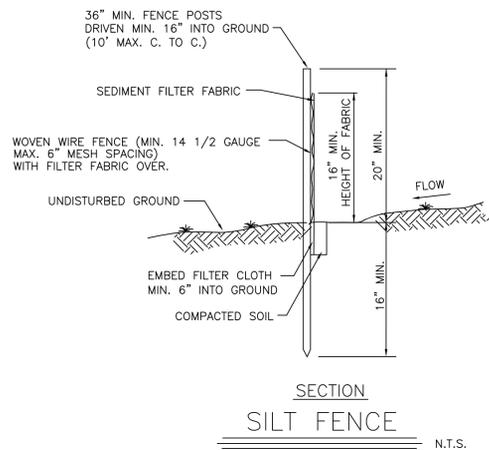
DATE	ISSUE	DESCRIPTION	REVISIONS
APRIL 22, 2025	REV 2		REV PER COMMENTS
NOVEMBER 19, 2024	REV 1		REV PER CLIENT

S.B.L. 19.17 - 1 - 55.1  
**PLOT PLAN**  
FOR  
**9 CHEESECOTE LANE**  
VILLAGE OF POMONA - ROCKLAND COUNTY - NEW YORK

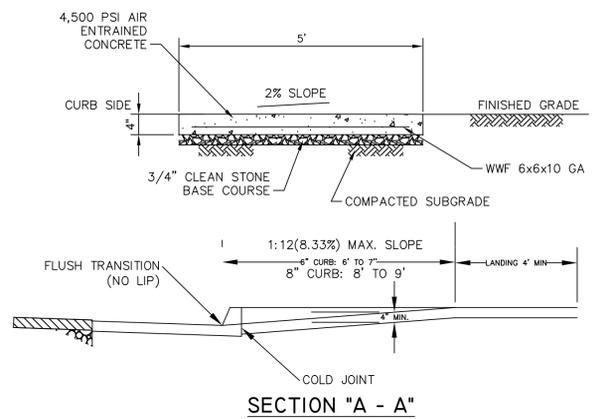
<b>CIVIL TEC</b> Engineering & Surveying PC	DATE: 6/26/24
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243	DRAWN BY: DC
111 Main Street Chester, NY 10918 845.610.3621	CHKD BY: RB/LT
Civil Engineering & Land Surveying Services that Build Communities www.Civil-Tec.com	JOB No. 4307
	SCALE: 1"=20'
Rachel B. Barese, P.E. N.Y. Lic. No. 90143	DWG No. 1 OF 2

GRAPHIC SCALE

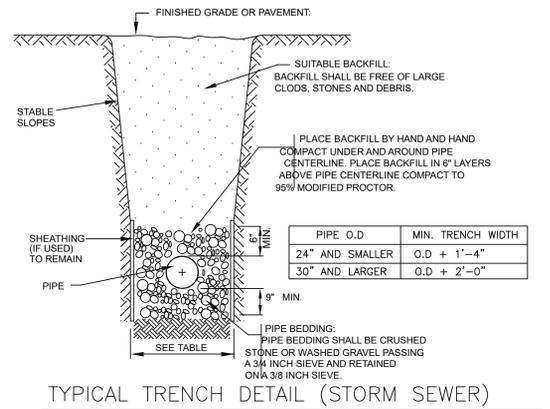




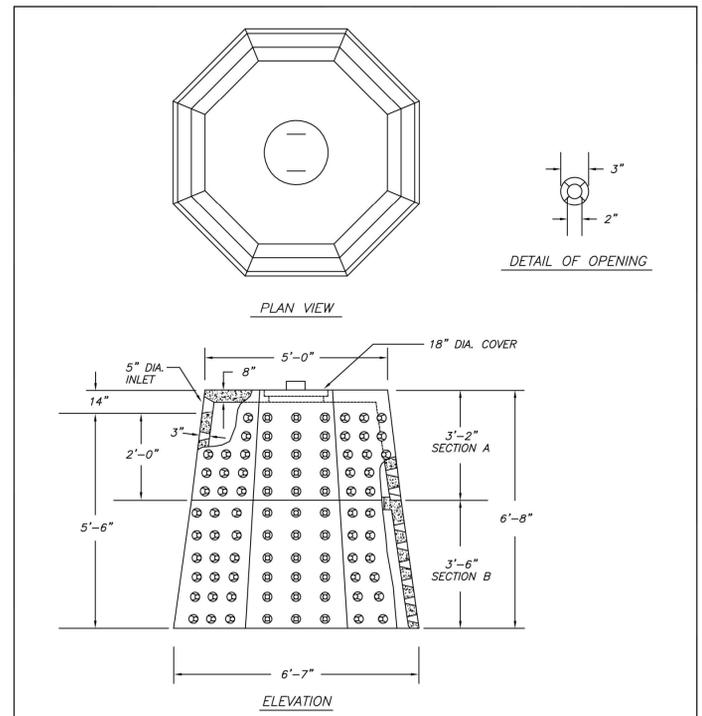
- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
  5. POST TO BE STEEL EITHER "T" OR "U" TYPE OR 2" HARWOOD.
  6. FILTER CLOTH TO BE MIRAFI 100X STABILINKA T140N OR APPROVED EQUAL.
  7. PREFABRICATED UNIT - GEOFAB, ENVIROFENCE OR APPROVED EQUAL.



**CONCRETE SIDEWALK**  
SCALE: N. T. S.



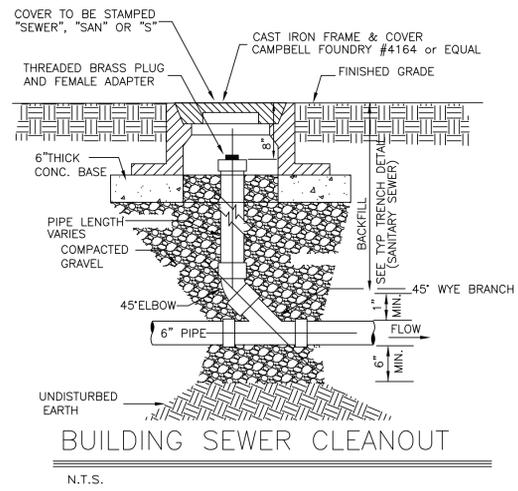
**TYPICAL TRENCH DETAIL (STORM SEWER)**  
N.T.S.



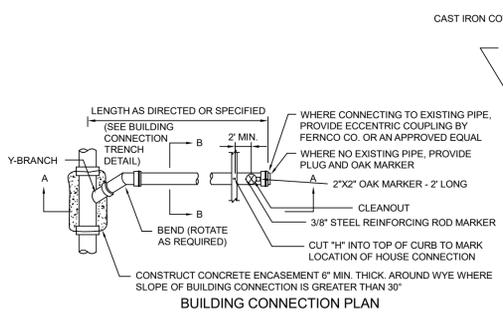
**NOTES:**  
 \* CONCRETE TO TEST 4000 PSI @ 28 DAYS  
 \* STEEL REINFORCEMENT-ASTM-A-615  
 \* SECTION A - 370 GALLONS 6'-0" ACROSS BOTTOM WEIGHT - 2,000 LBS.  
 \* SECTION B - 630 GALLONS 6'-7" ACROSS BOTTOM WEIGHT - 4050 LBS.  
 \* LOAD RATING - H-20  
 \* PROVIDE 12" BASE AND 18" PERIMETER OF STONE (1 1/2" - 2") AROUND THE DRYWELL

*Precast Concrete Sales Co.*  
 123 Route 303 Valley Cottage, N.Y. 10989  
 Tel. (845) 268-4949 - Fax (845) 268-4376

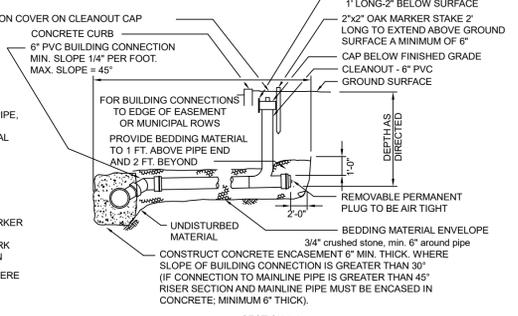
CONT.	JOB	DATE	DRAWN BY	DRAWING NO.
	5'-0" x 6'-7" DRYWELL TWO SECTIONS	02/09	AT	705-A/B



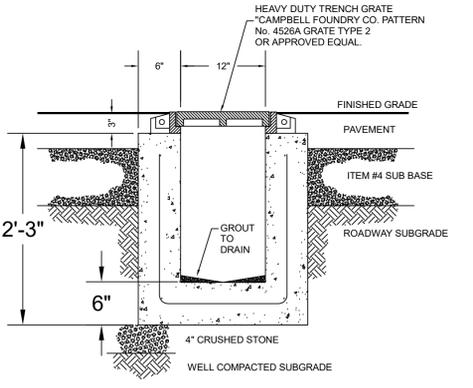
**BUILDING SEWER CLEANOUT**  
N.T.S.



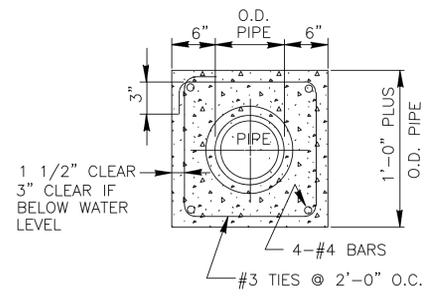
**BUILDING CONNECTION PLAN**  
N.T.S.



**BUILDING CONNECTION ELEVATION**  
**BUILDING CONNECTION DETAIL**  
N.T.S.



**TRENCH DRAIN DETAIL**  
N.T.S.

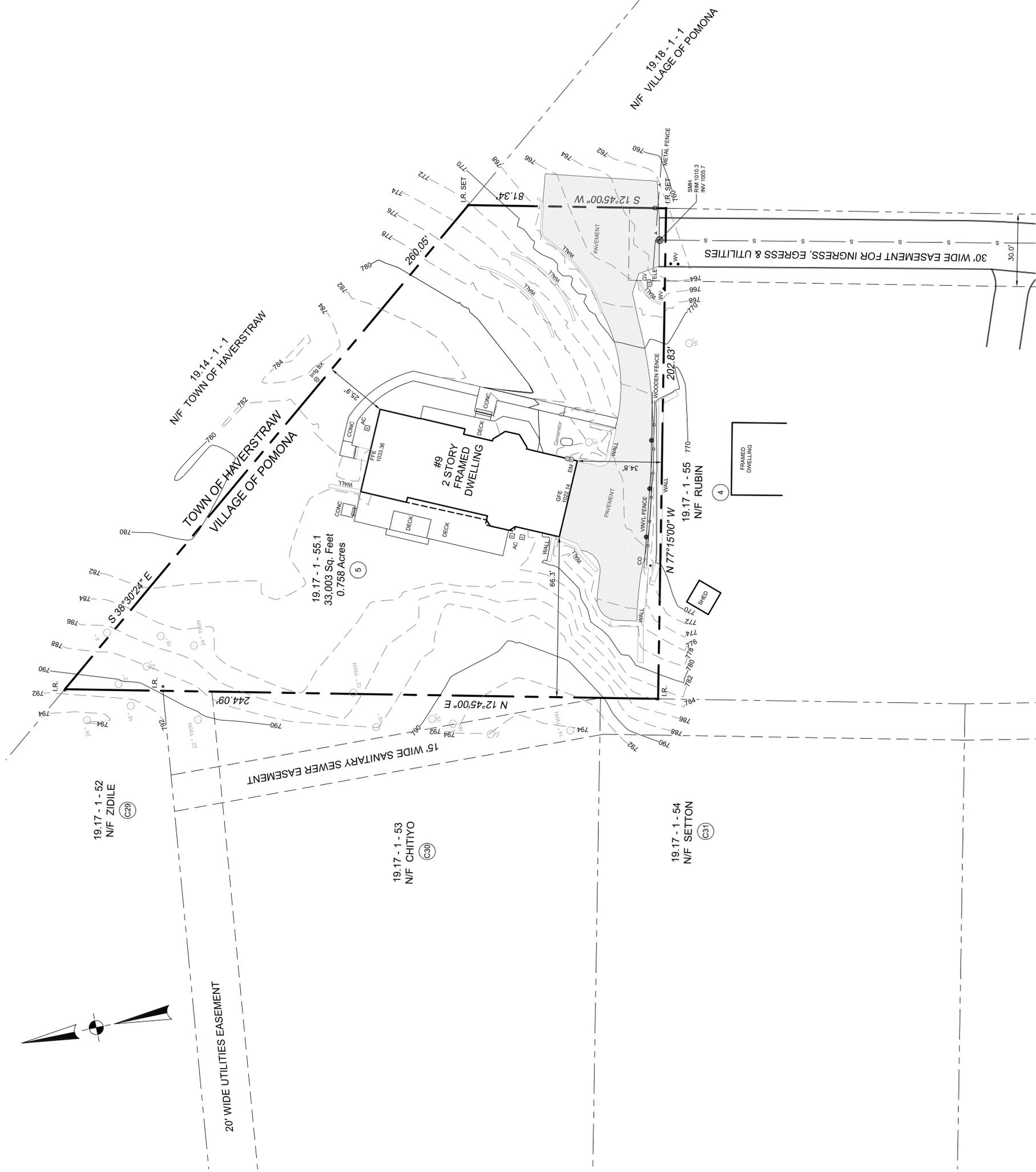
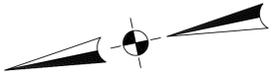


**NOTE:** ALL REINFORCING STEEL TO BE DEFORMED BARS AND LAPPED 14 INCHES AT SPLICES

**CONCRETE ENCASEMENT**  
N.T.S.

- EROSION CONTROL & SEDIMENT NOTES**
1. A TEMPORARY SEEDING SHALL BE APPLIED TO DISTURBED AREAS THAT ARE LEFT BARE FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS. IF CONSTRUCTION IS SUSPENDED OR COMPLETED, AREAS SHALL BE SEEDED DOWN OR MULCHED IMMEDIATELY.
  2. STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
  3. DURING CONSTRUCTION, ALL STRUCTURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN.
  4. AFTER CONSTRUCTION, INSPECTION SHALL BE MADE AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.
  5. THE STORM DRAIN INLET STRUCTURES SHALL BE PROTECTED WITH A FILTER BERM UNTIL THE AREA IS STABILIZED WITH VEGETATION OR THE BASE COURSE OF PAVEMENT IS INSTALLED.
  6. CONSIDER LIMITING LAND DISTURBANCE TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT.
  7. THE MACADAM SURFACE SHALL BE SWEEPED "BROOM CLEAN" AT THE END OF EACH DAY DURING THE CONSTRUCTION PHASE OF THE SIDEWALKS AND CURB.
  8. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL POINTS WHERE A DISTURBED AREA MEETS AN IMPERVIOUS SURFACE, THIS INCLUDES ALL NEW DRIVEWAY CONNECTIONS ALONG THE NEW ROADWAY.
  9. CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THOSE AREAS WITHIN THE SILT FENCE SEDIMENT PROTECTION. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, THE AREA COMPACTED BY MACHINERY SHALL BE DICED OR OTHERWISE LOOSENEED TO A DEPTH OF 12 INCHES PRIOR TO FINAL GRADING WITH TOPSOIL AND SEEDING.

APRIL 22, 2025 NOVEMBER 19, 2024	REV 2 REV 1	REV PER COMMENTS REV PER CLIENT	
DATE	ISSUE	DESCRIPTION	REVISIONS
S.B.L. 19.17-1-55.1 <b>DETAILS FOR</b> <b>9 CHEESECOTE LANE</b> <b>VILLAGE OF POMONA - ROCKLAND COUNTY - NEW YORK</b>			
<b>CIVIL TEC Engineering &amp; Surveying PC</b>		DATE: 6/26/24	
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243		111 Main Street Chester, NY 10918 845.610.3621	DRAWN BY: DC
Civil Engineering & Land Surveying Services that Build Communities www.Civil-Tec.com		CHKD BY: RB/LT	
		JOB No. 4307	
		SCALE: 1"=20'	
		DWG No. 2 OF 2	
Rachel B. Barese, P.E. N.Y. Lic. No. 90143			



## REFERENCES

1. BEING SECTION 19.17, BLOCK 1, LOT 55.1 OF THE VILLAGE OF POMONA, TOWN OF HAVERSTRAW, TAX MAPING LOT DESCRIBED BY DEED IN INSTRUMENT NO. 2005 AT PAGE 2168 AT THE ROCKLAND COUNTY CLERK'S OFFICE.
2. BEING LOT 5 IN A MAP ENTITLED "THE PARK AT POMONA", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON OCTOBER 31, 2002 IN BOOK 122 ON PAGE 74 AS MAP NUMBER 7542.
3. BEING A PORTION OF LOT 32 IN BLOCK C ON A MAP ENTITLED "HIGHVIEW ESTATES - SHEET TWO", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON MAY 28, 1968 IN BOOK 75 ON PAGE 43 AS MAP NUMBER 3727.
4. TOTAL AREA = 33,003 SQUARE FEET OR 0.758 ACRES.

## SURVEY NOTES:

1. IT IS A VIOLATION OF THE STATE EDUCATION LAW SECT 7208 (2) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL COPY OF THIS SURVEY IS PREPARED ONLY FOR THE PARTIES AND SURVEYOR. THIS SURVEY IS PREPARED ONLY FOR THE PARTIES AND PURPOSE INDICATED HEREON ANY CLAIM FOR LIABILITY SHALL NOT EXCEED THE AMOUNT OF THE AGREEMENT ANY EXTENSION OF USE BEYOND THE PURPOSE AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT AND THE SURVEYOR IS NOT RESPONSIBLE FOR UNAUTHORIZED USE BY OTHER PARTIES OR GOVERNMENTAL APPROVALS AND RENDERS THIS SURVEY MAP NULL & VOID. THIS SURVEY MAP IS SUBJECT TO AN ACCURATE ABSTRACT OF TITLE.
2. THIS SURVEY MAP IS BASED ON AN ACTUAL FIELD SURVEY CONDUCTED FOR A SPECIFIC PURPOSE AND IS BASED ON SPECIFIC CONTRACTUAL REQUIREMENTS FOR THIS TRANSACTION. USE OF THIS MAP FOR SURVEY INSPECTION UPDATES IS STRICTLY PROHIBITED. THIS MAP MAY NOT BE COPIED IN WHOLE OR IN PART. THIS MAP MAY NOT BE SOLD, RENTED, PURPOSES OR TRANSACTIONS. THIS MAP MAY NOT BE USED FOR OTHER PURPOSES OR TRANSACTIONS. THIS MAP MAY NOT BE SOLD, RENTED, LEASED, PHOTOCOPIED, ENLARGED, REDUCED, TRACED OR TRANSFERRED IN ANY OTHER WAY WITHOUT THE PRIOR WRITTEN CONSENT OF CIVIL TEC ENGINEERING & SURVEYING PC REPRESENTATIVE WHO'S SIGNATURE & SEAL APPEAR HEREON.
3. PROPERTY CORNER MARKERS WERE INSTALLED AS PART OF THIS SURVEY.
4. VERTICAL DATUM IS NAVD88.

DATE	ISSUE	DESCRIPTION	REVISIONS
	S.B.L. 19.17-1-55.1		
<b>SURVEY MAP FOR 9 CHEESEECOTE LANE VILLAGE OF POMONA - ROCKLAND COUNTY - NEW YORK</b>			
<b>CIVIL TEC Engineering &amp; Surveying PC</b>			
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10986 P: 845.547.2243	111 Main Street Chester, NY 10918 845.610.3921		
<small>Civil Engineering &amp; Land Surveying Services that Build Communities. www.CivilTEC.com</small>			
			DATE: 8/19/23
			DRAWN BY: LMG
			CHKD BY: SPD
			JOB No: 4307
			SCALE: 1"=20'
			DWG No: 1 OF 1



STEPHEN P. DOLSON, P.L.S.  
N.Y. Lic. No. 50554

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

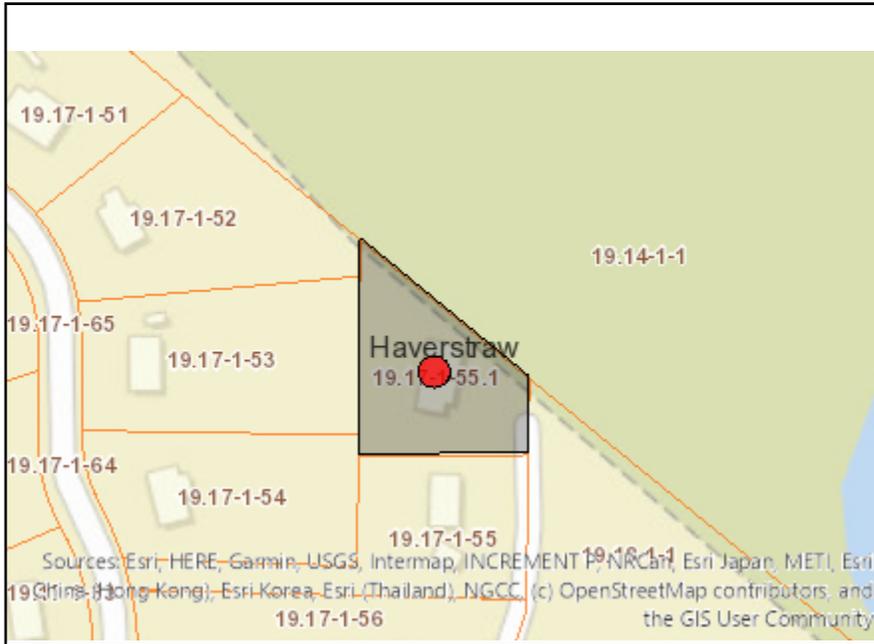
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5.     Urban           Rural (non-agriculture)           Industrial           Commercial           Residential (suburban)				
<input type="checkbox"/> Forest           Agriculture                           Aquatic           Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Civil Tec Engineering &amp; Surveying PC</u> Date: <u>5-27-25</u>		
Signature: <u><i>Nachel Ba</i></u> Title: <u>Project Engineer</u>		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

**DEPARTMENT OF PLANNING**

Dr. Robert L. Yeager Health Center  
50 Sanatorium Road, Building T  
Pomona, New York 10970  
Phone: (845) 364-3434 Fax: (845) 364-3435

**Douglas J. Schuetz**  
*Acting Commissioner*

**Richard M. Schiafo**  
*Deputy Commissioner*

June 26, 2025

Pomona Zoning Board of Appeals  
100 Ladentown Road  
Pomona, NY 10970

**Tax Data:** 19.17-1-55.1

**Re: GENERAL MUNICIPAL LAW REVIEW:** Section 239 L and M

**Map Date:** 04/22/2025

**Date Review Received:** 06/17/2025

**Item:** *9 Cheesecote Lane Pool (GML-25-0319)*

Variances for side yard and rear yard to permit the construction of a pool and pool house in the rear yard of an existing single-family dwelling located on 0.76 acres in the R-40 zoning district. Northern terminus of the private drive at the northern end of the Cheesecote Lane cul-de-sac, approximately 650 feet north of Cheesecote Lane

**Reason for Referral:**

The Long Path Hiking Trail, Town of Haverstraw

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

***Remand for Local Decision***

The proposed action is deemed to have no significant county-wide or inter-community impact under New York State General Municipal Law § 239; therefore, the action is a local decision.



---

Douglas J. Schuetz  
Acting Commissioner of Planning

## **9 Chesecote Lane Pool (GML-25-0319)**

cc: Mayor Ilan Fuchs, Pomona  
New York - New Jersey Trail Conference  
Rockland County Department of Health  
Rockland County Planning Board  
Rockland County Sewer District No. 1  
Town of Haverstraw Planning Board  
Civil Tec Engineering & Surveying PC

\*The review undertaken by the County of Rockland Department of Planning is pursuant to and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B, the County of Rockland does not render opinions nor determine whether the proposed action reviewed implicates the Religious Land Use and Institutionalized Persons Act. The County of Rockland Department of Planning defers to the municipality referring the proposed action to render such opinions and make such determinations as appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Pursuant to New York State General Municipal Law §§ 239-m and 239-n, the referring body shall file a report of final action it has taken with the County of Rockland Department of Planning within thirty (30) days after final action.

May 22, 2025

Chairman Jesse Kaufman and the  
Members of the Zoning Board of Appeals  
Village of Pomona  
Village Hall  
100 Ladentown Road  
Pomona, New York 10970

**Re: *Notice of Appeal of  
Notice of Violation – Order to Remedy;  
Eliezer Steinmetz – Chabad of the Heights  
34 North Ridge Road;  
Tax Map Designation: 25.05-2-13***

Dear Chairman Kaufman and Members of the Zoning Board of Appeals:

Eliezer Steinmetz (the “Appellant”), who received a Notice of Violation, dated May 9, 2025 (“NOV”) in connection with a tent serving a religious use located at the above-reference location (the “Site”), hereby respectfully appeals the NOV.

By way of background, the Chabad of the Heights holds regular religious services at the Site, which, until a fire last year, were conducted in a permanent structure. After a fire destroyed the structure last year, the Chabad of the Heights was in desperate need of a facility from which to serve the community. To accommodate this need, last fall, the Village Board of Trustees graciously and correctly approved a Special Permit to allow the Chabad of the Heights to erect a tent on the Site as a Temporary House of Worship while the Chabad of the Heights proceeded to pursue the requisite approvals for a permanent structure at the Site.

Accordingly, the Chabad of the Heights has diligently worked to prepare a Special Permit Application for a permanent religious facility at the Site. Unfortunately, the project’s original architect did not meet the team’s expectations and deadlines, so the Chabad of the Heights was compelled to shift to a new architect, Todd Rosenblum of Rosenblum Architects. Based on the team’s past experience working with him, we are confident in his reliability and qualifications. He is already underway with designing the project, and we do not anticipate further delays in the design process. The team has also retained Civil Design Group (Glenn McCreedy) to engineer the Site Plan. The Chabad of the Heights hopes to submit its application in June.

To the point of this Appeal, the Appellant and the Chabad of the Heights are seeking a variance from the New York State Department of State (“NYS DOS”) to address the NOV’s concern that the New York State Fire Code only allows tents for no more than 180 days within a 12 month period on a single premises. The Appellant and the Chabad of the Heights are confident that NYS DOS will issue the requested variance, including because the tent structure poses no

threat to the public health, safety, or general welfare, while the religious use allowed by the tent has a presumptively beneficial effect on the community. *See Westchester Day School v. Village of Mamaroneck*, 417 F.Supp.2d 477, 562 (S.D.N.Y. 2006), *aff'd*, *Westchester Day School v. Village of Mamaroneck*, 504 F.3d 338, 351 (2d Cir. 2007) (citation omitted); *Cornell University v Bagnardi*, 68 N.Y.2d 583, 597 (1986).

Because NYS DOS is likely to issue a variance to allow the tent to stay up past the 180 day time limitation referenced in the NOV, the Appellant respectfully submits that, consistent with your Board's affirmative duty to accommodate the subject religious use, the NOV should be overturned, or at a minimum, stayed, while the NYS DOS acts. As your Board is aware, pursuant to New York State Village Law Section 7-712(a)(6), this Appeal stays all proceedings in furtherance of the action appealed from herein, including, but not limited to, the NOV's contention that an escrow previously provided would be used to remove the structure.

The Chabad of the Heights would be open to any suggestions from your Board on measures that would mitigate any effects of the ongoing religious use of the tent without causing excessive additional costs. *See Islamic Soc. of Westchester & Rockland v Foley*, 96 A.D.2d 536, 537 (2d Dept. 1983).

We appreciate your Board's time and attention. Please let us know if your Board has any questions or would like to discuss any aspect of this Appeal.

Respectfully submitted,

ZARIN & STEINMETZ, LLP

By:

  
Daniel M. Richmond, Esq.

encs.

cc: Eliezer Steinmetz  
Chabad of the Heights  
Brian Nugent, Esq.  
Village Attorney  
Louis Zummo  
Building Inspector

VILLAGE OF POMONA  
100 Ladentown Road  
Pomona, NY 10970



Tel: 845-354-0545

Fax: 845-354-0604

www.pomonavillage.com

Tax Parcel Number: 25.05-2-13

## Notice of Violation - Order To Remedy

Property Owner: ELIEZER STEINMENTZ  
Address: 34 NORTH RIDGE RD  
POMONA, NY 10970

Subject Property: 34 North Ridge Rd

Date: 5/9/2025

Dear ELIEZER STEINMENTZ,

You are hereby notified that you have been found to be in violation of:

New York State Fire Code\Section 3101 Tents, Temporary Special Structures\3103.5 Use Period\Temporary tents, air - supported, air inflated, or tensioned membrane structures shall not be erected for a period of more than 180 days within a 12 month period on a single premises. .

The following condition was observed by the Code Enforcement Officer on 4/30/2025: Tent still in place - permit expired 3/23/25

The following corrective measures should be taken no later than 5/23/2025 or penalties may be assessed:  
**REMOVE THE TENT STRUCTURE AND PROVIDE THE PAPERWORK FOR THE NEW CONSTRUCTION AND VILLAGE APPROVALS. IF THE TENT IS NOT REMOVED WITHIN 15 DAYS, THE ESCROW PROVIDED WILL BE USED TO REMOVE THE STRUCTURE.**

For the purpose of applying the penalties described in the Administrative Section of the Zoning Law, your first violation shall be deemed to have occurred as of 4/30/2025

Please Note: A violation of this code is punishable by a fine not to exceed \$500 Dollars, each day of continued violation shall constitute an addition, separate offense, after court determination.

If you have any questions, please contact me.

Sincerely,

  
Code Enforcement Officer

# APPLICATION REVIEW FORM

## PART I

Name of Municipality Pomona Date 5/23/2025

*Please check all that apply:*

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input checked="" type="checkbox"/> Zoning Board of Appeals* <i>(*Fill out Parts I &amp; II of this form)</i>	<input type="checkbox"/> Historical Board
	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision _____ # of Lots _____	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Final
<input checked="" type="checkbox"/> Conditional Use	
<input type="checkbox"/> Zoning Code Amendment	
<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance	

**Project Name:** 34 North Ridge Road-extend use period of temporary tent

**Tax Map Designation:**

Section 25.05 Block 2 Lot(s) 13  
Section \_\_\_\_\_ Block \_\_\_\_\_ Lot(s) \_\_\_\_\_

**Location:** On the West side of Cheesecote Lane,  
223 feet South West of Cheesecote Lane in the  
town/village of Pomona.

**Street Address:** 34 North Ridge Road

**Acreage of Parcel** 1.04 **Zoning District** Pomona

**School District** East Ramapo CSD **Postal District** Pomona

**Fire District** Moleston **Ambulance District** Haverstraw

**Water District** Town of Haverstraw **Sewer District** 1

**Project Description:** *(If additional space required, please attach a narrative summary.)*

We are appealing a violation received on 5.13.2025 Please see attached  
narrative from Zarin & Steinmetz for further details.

# APPLICATION REVIEW FORM

**If subdivision:**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If **special permit**, list special permit use and what the property will be used for.

---

---

**Environmental Constraints:**

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area. N/a

Are there **streams** on the site? If yes, please provide the names. N/a

Are there **wetlands** on the site? If yes, please provide the names and type. N/a

**Project History:** Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

---

---

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

---

---

## APPLICATION REVIEW FORM

**Contact Information:**

Applicant: Mark Moseson Phone # (845) 494-9996

Address 9 Cheesecote Lane Pomona NY 10970  
Street Name & Number (Post Office) State Zip code

Property Owner: Eliezer Steinmentz Phone # \_\_\_\_\_

Address 34 North Ridge Road Pomona NY 10970  
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Alberto Roman Phone # (914) 220-9792

Address 160 W 174th Street Bronx NY 10453  
Street Name & Number (Post Office) State Zip code

Attorney: Daniel M Richmond Phone # \_\_\_\_\_

Address 81 Main Street Suite 415 White Plains NY 10601  
Street Name & Number (Post Office) State Zip code

Contact Person: \_\_\_\_\_ Phone # \_\_\_\_\_

Address \_\_\_\_\_  
Street Name & Number (Post Office) State Zip code

**General Municipal Law Review:**

This property is within 500 feet of:  
*(Check all that apply)*

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- |   |   |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path            | <input type="checkbox"/> County Stream        |
| <input type="checkbox"/> Municipal Boundary   | <input type="checkbox"/> County Facility      |

List name(s) of facility checked above. \_\_\_\_\_

**Referral Agencies:** *(Please make sure that the appropriate agencies as needed received copies of your application and plans for their review.)*

- |  |  |
|--|--|
| <input type="checkbox"/> RC Highway Department       | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency          | <input type="checkbox"/> RC Dept. of Health                      |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority       | <input type="checkbox"/> Palisades Interstate Park Comm.         |
| <input type="checkbox"/> Adjacent Municipality _____ |  |
| <input type="checkbox"/> Other _____                 |  |

**\*\*All applicants must send copies of their applications and plans to:**  
 Orange and Rockland, Regional manager, 75 West Route 59, Spring Valley, NY 10997.



## APPLICATION REVIEW FORM

C. To the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of  N/a   
in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee  None
- b. Nature of interest \_\_\_\_\_
- c. If stockholder, number of shares \_\_\_\_\_
- d. If officer or partner, nature of office and name of partnership \_\_\_\_\_
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. \_\_\_\_\_
- f. In the event of corporate or limited liability company ownership: A list of all directors, officers and stockholders of each corporation or members of each limited liability company owning more than five (5%) percent of any class of stock or more than five (5%) percent beneficial interest, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of \_\_\_\_\_.

D. I do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

**4. Reimbursement for Professional Consulting Services.** I understand that the Town/Village Board, Planning Board, Zoning Board of Appeals, and other municipal boards, in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such application as required by law. The charges made by such consultants shall be in accord with charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the town/village and each such consultant for the cost of such consultant services upon receipt of the bill.

# APPLICATION REVIEW FORM

## 5. Application Fee(s)

I, Eliezer Steinmentz, have paid to the Town/Village Clerk and/or Treasurer, the required fee for this application. (The fee is subject to the Schedule of Fees of the municipality). I shall review a copy of the zoning Local Law and Land Development Regulations, and be ready and prepared to review this application when scheduled. The Municipal Board, Planning Board, or Zoning Board of Appeals in the review of any application described above, may refer the subject application to an engineering, planning, environmental, or other technical consultant as such Board shall deem reasonably necessary to enable it to review the application as required by law.

*\*\*The following paragraph is optional to add if your municipality establishes escrow accounts:*

(I agree to establish an escrow account with the Town/Village of \_\_\_\_\_ from which these consultants' fees will be paid. The escrow account will not draw interest, and will be replenished upon notification by the Town/Village. Any additional sums needed to pay the Town's/Village's consultants shall be paid prior to final action on the application. The Town/Village may suspend processing of the application if there is a deficiency in the escrow account. Permits will not be issued and site plan or subdivision will not be signed until bill is paid in full. Any sums remaining in the escrow account after the consultants have been paid in full will be returned to the applicant. The applicant has the right to examine escrow and payment records upon prior written notice to the Town/Village.)

Applicant's Signature \_\_\_\_\_

Print Applicant's Name Eliezer Steinmentz

SWORN to before me this

23<sup>rd</sup> day of May, 2025

\_\_\_\_\_  
Notary Public

JOEL LITCHFIELD NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01LI6444995 Qualified in Rockland County Commission Expires 12/05/2026
--

I have received from Eliezer Steinmentz the sum of \_\_\_\_\_ on this date \_\_\_\_\_

Reviewed by the \_\_\_\_\_ on \_\_\_\_\_ Municipal Clerk/Treasurer

Action Taken: \_\_\_\_\_

APPLICATION REVIEW FORM

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Pomona )

I, Eliezer Steinmentz being duly sworn, hereby
depose and say that I reside at: 34 North Ridge Road, Pomona NY 10970

in the county of Rockland in the state of New York

I am the (\* N/a ) owner in fee simple of premises located at:
34 North Ridge Road, Pomona NY 10970

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber 2021 of conveyances, page 26897 or as Instrument ID #

Said premises have been in my/its possession since 06/11/2021 Said premises are also
known and designated on the Town of Haverstraw Tax Map as:
section 25.05 block 2 lot(s) 13

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner Eliezer Steinmentz
Mailing Address 34 North Ridge Road
Pomona, NY 10970

SWORN to before this
23rd day of May, 20 25

[Handwritten signature of Notary Public]

Notary Public

JOEL LITCHFIELD
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01L16444995
Qualified in Rockland County
Commission Expires 12/05/2026

\* If owner is a corporation or LLC, fill in the office held by deponent and name of
corporation or LLC, and provide a list of all directors, officers, and stockholders
owning more than 5% of any class of stock and all members having greater than 5%
beneficial interest.



# APPLICATION REVIEW FORM

## PART II\*

### Application before the Zoning Board of Appeals

Application, petition, or request is hereby submitted for:

- Area Variance from the requirement of Section \_\_\_\_\_;
- Use Variance from the requirement of Section \_\_\_\_\_;
- Special permit per the requirements of Section \_\_\_\_\_;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) \_\_\_\_\_;

To permit construction, maintenance and use of There is no new construction. We are  
appealing a violation. The application is in progress for a state variance.

#### Previous Appeal:

- a. A previous appeal \_\_\_ has, or \_\_\_ has not, been made with respect to this property.
- b. Such appeal was in the form of:
  - \_\_\_ An AREA Variance; or
  - \_\_\_ A USE Variance; or
  - \_\_\_ Appeal from decision of Town Official or Officer; or
  - \_\_\_ Interpretation of the Zoning Ordinance or Map; or
  - \_\_\_ Other
- c. The previous appeal described above was appeal number \_\_\_\_\_,  
dated \_\_\_\_\_ and was \_\_\_\_\_ (Granted/Denied).

**TO ALL APPLICANTS:** Complete all relevant information by the section or sections pertaining to your appeal ONLY. You may also include extra pages to supplement this form with a narrative explanation. At the time of the hearing, you must present written documentation in support of all the statements made in this application. You must also substantiate all financial information supplied.

## APPLICATION REVIEW FORM

**A. AREA VARIANCE** *(This section to be completed only for an AREA variance. Use additional pages, if needed.)*

This application seeks a variance from the provisions of Article \_\_\_\_\_, Section(s) \_\_\_\_\_. Specifically, the applicant seeks a variance from the requirements from:

Dimension*	Column	Required	Provided

*\*e.g., front yard, side setback, FAR, etc.*

1. Is the requested variance the minimum necessary to relieve the practical difficulty or economic injury? \_\_\_\_\_

**Describe:** \_\_\_\_\_  
\_\_\_\_\_

2. Is the variance substantial in relation to the zoning code? \_\_\_\_\_

**Explain:** \_\_\_\_\_  
\_\_\_\_\_

3. Will a substantial change be produced in the character of the neighborhood, or a substantial detriment to adjoining property owners be created, if this variance is granted? \_\_\_\_\_

**Explain:** \_\_\_\_\_  
\_\_\_\_\_

4. Can the alleged practical difficulty or economic injury be overcome by some method other than a variance? \_\_\_\_\_

**Explain:** \_\_\_\_\_  
\_\_\_\_\_

## APPLICATION REVIEW FORM

5. Will the granting of this variance affect the health, safety, or welfare of the neighborhood or community? \_\_\_\_\_

**Explain:** \_\_\_\_\_

\_\_\_\_\_

6. Will there be any affect on governmental facilities or services if this variance is granted? \_\_\_\_\_

**Describe:** \_\_\_\_\_

\_\_\_\_\_

7. Other factors I/we wish the Board to consider in this case are

\_\_\_\_\_

\_\_\_\_\_

**B. USE VARIANCE** *(This section to be completed only for a USE variance. Use additional pages, if needed.)*

1. This property cannot be used for any uses currently permitted in this zone because:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

2. The problem with this property is due to unique circumstances and not to the general conditions of the neighborhood in that:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

3. The use requested by this variance will not alter the essential character of the neighborhood in that:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

4. The amount paid for the entire parcel was: \_\_\_\_\_

5. The date of purchase of the property was: \_\_\_\_\_

6. The present value of the entire property is: \_\_\_\_\_

7. The monthly expenses attributed to normal and usual maintenance of the property are: \_\_\_\_\_

8. The annual taxes on the property are: \_\_\_\_\_

## APPLICATION REVIEW FORM

9. The current income from the property is: \_\_\_\_\_

10. The amount of mortgages and other encumbrances on the property in question is:

a. Date of mortgage: \_\_\_\_\_

b. Scheduled maturity (payoff) date: \_\_\_\_\_

c. Present monthly payment amount: \_\_\_\_\_

d. Current principal balance: \_\_\_\_\_

e. Current interest rate: \_\_\_\_\_

11. Other factors I/we wish the Board to consider in this case are:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**C. APPEAL OF DECISION OF BUILDING INSPECTOR** *(This section to be completed for an appeal, only. Use additional pages, if needed.)*

1. Name and position of official making the decision:

Louis Zummo. Building/Fire Inspector village of Pomona

2. Nature of decision:

Permit expired for the temporary tent. A copy of the violation notice is included in the attachments.

3. The decision described above is hereby appealed because:

the subject Notice of Violation is likely to be rendered moot as the result of a pending State variance application and the Appellant's forthcoming Special Permit application for a permanent house of worship.

**D. INTERPRETATION OF ZONING CODE** *(This section to be completed for an interpretation, only. Use additional pages, if needed.)*

1. Section(s) to be interpreted: \_\_\_\_\_

2. An interpretation of the Zoning Code is requested because:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# Village of Pomona

100 Ladentown Road, Pomona, NY 10970  
Telephone: 845-354-0545  
Website: [www.pomonavillage.com](http://www.pomonavillage.com)

## APPLICATION CHECKLIST FOR:

### TECHNICAL ADVISORY COMMITTEE PLANNING BOARD VILLAGE BOARD OF TRUSTEES ZONING BOARD OF APPEALS

**\*\*All Application Requests require a digital submission emailed to:  
jenna.antoine@pomonavillage.com**

#### APPLICATION FOR ZONING BOARD OF APPEALS

*Submit: 15 copies* of application

*Submit: 15 copies* of EAF (*short form*)

*Submit: 15 copies* of Plot Plan drawn to scale

*Submit: 15 copies* of architectural and elevations

*Submit: 15 copies* of narrative summary

*Submit: 15 copies* of decision or order upon which appeal is based and Notice of Appeals to Building Inspector

*Submit: 15 copies* of any details that will help the Board judge the application

*Submit:* Filing Fee: \$200 for existing residence and \$375 for new construction

*Submit:* Escrow of \$1,500 per lot – Escrows to be replenished as necessary

#### APPLICATION TO APPEAR BEFORE TECHNICAL ADVISORY COMMITTEE (TAC) (Informal)

*Submit: 5 copies* of application

*Submit: 5 copies* of plan & EAF (*short form*)

*Submit: 5 copies* of narrative summary

*Submit:* Filing Fee: \$250 per appearance

*Submit:* Escrow: \$1,500 per lot

#### APPLICATION TO APPEAR BEFORE PLANNING BOARD

*Submit: 14 copies* of application

*Submit: 14 copies* of plan & EAF (*short form*)

*Submit: 14 copies* of narrative summary

*Submit:* Application Fee: \$600 per lot + \$250 per appearance after first meeting

*Submit:* Escrow of \$1,500 per lot – Escrows to be replenished as necessary

#### APPLICATION TO APPEAR BEFORE BOARD OF TRUSTEES

*Submit: 7 copies* of application

*Submit: 7 copies* of plan

*Submit: 7 copies* of EAF (*short form*).

*Submit: 7 copies* of narrative summary

# APPLICATION REVIEW FORM

## PART I

Name of Municipality Village of Pomona Date 5/23/25

*Please check all that apply:*

<input checked="" type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals* (*Fill out Parts I & II of this form)	<input checked="" type="checkbox"/> Municipal Board <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision _____ # of Lots _____ <input checked="" type="checkbox"/> Site Plan <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Conditional Use <input type="checkbox"/> Zoning Code Amendment <input type="checkbox"/> Zone Change <input checked="" type="checkbox"/> Variance	<input type="checkbox"/> Pre-preliminary/Sketch <input checked="" type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final

**Project Name:** Sri Ranganatha Temple (Religious Corporation)

**Tax Map Designation:**

Section 32.08 Block 1 Lot(s) 59  
 Section \_\_\_\_\_ Block \_\_\_\_\_ Lot(s) \_\_\_\_\_

**Location:** On the east side of Ladentown Road,  
350 feet south of Ladentown Rd/Call Hollow Rd in the  
Intersection  
 town/village of Pomona.

**Street Address:** 8 Ladentown Road, Pomona, NY 10970

**Acreage of Parcel** 4.77 ac **Zoning District** R-40

**School District** RAMAPO CENTRAL **Postal District** POMONA

**Fire District** MOLESTON **Ambulance District** SPRING HILL COMM. AMB

**Water District** VEOLIA-POMONA **Sewer District** RAMAPO

**Project Description:** *(If additional space required, please attach a narrative summary.)*

The Applicant proposes to expand the existing house of worship on site by constructing an outer enclosed corridor for processions. In addition, they propose to construct a two-story building on site shown as a social gathering hall and monastery on the Site Plan. Please see the attached narratives for details.

## APPLICATION REVIEW FORM

If subdivision: NA

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

If site plan:

- 1) Existing square footage 15,514 sq. ft. (temple)
- 2) Total square footage 45,714 sq. ft (temple) and 12,714 sq. ft. (social gathering hall and monastery)
- 3) Number of dwelling units one communal/ monastery type of living space

If special permit, list special permit use and what the property will be used for.

§130-10G Special Permit required from Village Board for community house of worship

### Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area. 15%-35% slopes = 8,369 sq. ft. Shown on plan

Are there streams on the site? If yes, please provide the names. None

Are there wetlands on the site? If yes, please provide the names and type. None

Project History: Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

A special permit for construction of a house of worship originally approved by the Village and Planning Board in August 1996. Subsequent approval by Planning Board in January 2010 for revised site plan

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None

## APPLICATION REVIEW FORM

**Contact Information:**

Applicant: Sri Ranganatha Seva Samithi Inc. - Kumaravel Sakthivelu Phone # +1 2012947424

Address 8 Ladentown Road, Pomona, NY 10970  
Street Name & Number (Post Office) State Zip code

Property Owner: Sri Ranganatha Seva Samithi Inc. - Kumaravel Sakthivelu Phone # +1 2012947424

Address 8 Ladentown Road, Pomona, NY 10970  
Street Name & Number (Post Office) State Zip code

Engineer/~~Architect~~/Surveyor: Atzl, Nasher & Zigler - John Atzl Phone # 845-634-4694

Address 232 North Main Street, New City, NY 10956  
Street Name & Number (Post Office) State Zip code

Attorney: Radhika S. Nagubandi, Esq. Phone # 845-642-3701

Address 6 Crum Creek Rd, New City, NY, 10956  
Street Name & Number (Post Office) State Zip code

Contact Person: John Atzl - Atzl, Nasher & Zigler Phone # 845-634-4694

Address 232 North Main Street, New City, NY 10956  
Street Name & Number (Post Office) State Zip code

**General Municipal Law Review:**

This property is within 500 feet of:  
*(Check all that apply)*

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path                       | <input type="checkbox"/> County Stream        |
| <input checked="" type="checkbox"/> Municipal Boundary   | <input type="checkbox"/> County Facility      |

List name(s) of facility checked above. US ROUTE 202 (STATE HIGHWAY), COUNTY ROUTE 75 (COUNTY HIGHWAY), TOWN OF RAMAPO (TOWN BOUNDARY)

**Referral Agencies:** *(Please make sure that the appropriate agencies as needed received copies of your application and plans for their review.)*

- |   |  |
|---|--|
| <input type="checkbox"/> RC Highway Department                                  | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency                                     | <input type="checkbox"/> RC Dept. of Health                      |
| <input checked="" type="checkbox"/> NYS Dept. of Transportation                 | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority                                  | <input type="checkbox"/> Palisades Interstate Park Comm.         |
| <input checked="" type="checkbox"/> Adjacent Municipality <u>TOWN OF RAMAPO</u> |  |
| <input type="checkbox"/> Other _____  |  |

**\*\*All applicants must send copies of their applications and plans to:**  
 Orange and Rockland, Regional manager, 75 West Route 59, Spring Valley, NY 10997.



## APPLICATION REVIEW FORM

C. To the extent that the same is known to your applicant, and to the owner of the subject premises there is disclosed herewith the interest of the following officer or employee of the State of New York or the County of Rockland or of the ~~Town~~/Village of Pomona,  
in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee None
- b. Nature of interest None
- c. If stockholder, number of shares None
- d. If officer or partner, nature of office and name of partnership None
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or ~~town~~/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. None
- f. In the event of corporate or limited liability company ownership: A list of all directors, officers and stockholders of each corporation or members of each limited liability company owning more than five (5%) percent of any class of stock or more than five (5%) percent beneficial interest, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the ~~Town~~/Village of Pomona.

D. I do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

**4. Reimbursement for Professional Consulting Services.** I understand that the ~~Town~~/Village Board, Planning Board, Zoning Board of Appeals, and other municipal boards, in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such application as required by law. The charges made by such consultants shall be in accord with charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the ~~town~~/village and each such consultant for the cost of such consultant services upon receipt of the bill.

# APPLICATION REVIEW FORM

**5. Application Fee(s)**

I, Kumaravel Sakthivelu, have paid to the ~~Town~~/Village Clerk and/or Treasurer, the required fee for this application. (The fee is subject to the Schedule of Fees of the municipality). I shall review a copy of the zoning Local Law and Land Development Regulations, and be ready and prepared to review this application when scheduled. The Municipal Board, Planning Board, or Zoning Board of Appeals in the review of any application described above, may refer the subject application to an engineering, planning, environmental, or other technical consultant as such Board shall deem reasonably necessary to enable it to review the application as required by law.

*\*\*The following paragraph is optional to add if your municipality establishes escrow accounts:*

(I agree to establish an escrow account with the ~~Town~~/Village of Pomona from which these consultants' fees will be paid. The escrow account will not draw interest, and will be replenished upon notification by the ~~Town~~/Village. Any additional sums needed to pay the ~~Town's~~/Village's consultants shall be paid prior to final action on the application. The ~~Town~~/Village may suspend processing of the application if there is a deficiency in the escrow account. Permits will not be issued and site plan or subdivision will not be signed until bill is paid in full. Any sums remaining in the escrow account after the consultants have been paid in full will be returned to the applicant. The applicant has the right to examine escrow and payment records upon prior written notice to the ~~Town~~/Village.)

Applicant's Signature

Print Applicant's Name Kumaravel Sakthivelu

SWORN to before me this

12<sup>th</sup> day of June, 2025

\_\_\_\_\_  
Notary Public

JACQUELINE BERGER NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01BE6439143 Qualified in Rockland County My Commission Expires August 22, 2026
--

I have received from \_\_\_\_\_ the sum of \_\_\_\_\_ on this date

Reviewed by the \_\_\_\_\_ on \_\_\_\_\_  
Municipal Clerk/Treasurer

Action Taken: \_\_\_\_\_

APPLICATION REVIEW FORM

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Clarkstown

I, Kumaravel Sakthivelu being duly sworn, hereby
depose and say that I have an office at: 8 Ladentown Road, Pomona, NY 10970

in the county of Rockland in the state of New York

I am the (\* Trustee ) owner in fee simple of premises located at:
8 Ladentown Road, Pomona, NY 10970

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber 00445 of conveyances, page 02842 or as Instrument ID #

Said premises have been in my/its possession since 1991. Said premises are also
known and designated on the Town of Village of Pomona Tax Map as:
section 32.08 block 1 lot(s) 59

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner [Signature]
Mailing Address 8 Ladentown Road
Pomona, NY 10970

SWORN to before this
12th day of June, 2025

[Signature]
Notary Public

JACQUELINE BERGER
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BE6439143
Qualified in Rockland County
My Commission Expires August 22, 2026

\* If owner is a corporation or LLC, fill in the office held by deponent and name of
corporation or LLC, and provide a list of all directors, officers, and stockholders
owning more than 5% of any class of stock and all members having greater than 5%
beneficial interest.



# APPLICATION REVIEW FORM

## PART II\*

### Application before the Zoning Board of Appeals

Application, petition, or request is hereby submitted for:

- Area Variance from the requirement of Section \_\_\_\_\_;
- Use Variance from the requirement of Section \_\_\_\_\_;
- Special permit per the requirements of Section \_\_\_\_\_;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) \_\_\_\_\_;

To permit ~~construction~~ <sup>expansion</sup>, maintenance and use of existing temple and construct a two-story building on site. See narratives for details.

#### Previous Appeal:

- a. A previous appeal \_\_\_ has, or  has not, been made with respect to this property.
- b. Such appeal was in the form of:
  - \_\_\_ An AREA Variance; or
  - \_\_\_ A USE Variance; or
  - NA \_\_\_ Appeal from decision of Town Official or Officer; or
  - \_\_\_ Interpretation of the Zoning Ordinance or Map; or
  - \_\_\_ Other
- c. The previous appeal described above was appeal number NA, dated NA and was NA (Granted/Denied).

**TO ALL APPLICANTS:** Complete all relevant information by the section or sections pertaining to your appeal ONLY. You may also include extra pages to supplement this form with a narrative explanation. At the time of the hearing, you must present written documentation in support of all the statements made in this application. You must also substantiate all financial information supplied.

## APPLICATION REVIEW FORM

**A. AREA VARIANCE** *(This section to be completed only for an AREA variance. Use additional pages, if needed.)*

This application seeks a variance from the provisions of Article \_\_\_\_\_, Section(s) \_\_\_\_\_. Specifically, the applicant seeks a variance from the requirements from:

Dimension*	Column	Required	Provided

*\*e.g., front yard, side setback, FAR, etc.*

1. Is the requested variance the minimum necessary to relieve the practical difficulty or economic injury? \_\_\_\_\_  
**Describe:** \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

2. Is the variance substantial in relation to the zoning code? \_\_\_\_\_  
**Explain:** \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

3. Will a substantial change be produced in the character of the neighborhood, or a substantial detriment to adjoining property owners be created, if this variance is granted? \_\_\_\_\_  
**Explain:** \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

4. Can the alleged practical difficulty or economic injury be overcome by some method other than a variance? \_\_\_\_\_  
**Explain:** \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## APPLICATION REVIEW FORM

5. Will the granting of this variance affect the health, safety, or welfare of the neighborhood or community? \_\_\_\_\_

Explain: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. Will there be any affect on governmental facilities or services if this variance is granted? \_\_\_\_\_

Describe: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

7. Other factors I/we wish the Board to consider in this case are  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**B. USE VARIANCE** *(This section to be completed only for a USE variance. Use additional pages, if needed.)*

1. This property cannot be used for any uses currently permitted in this zone because:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. The problem with this property is due to unique circumstances and not to the general conditions of the neighborhood in that:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. The use requested by this variance will not alter the essential character of the neighborhood in that:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. The amount paid for the entire parcel was: \_\_\_\_\_

5. The date of purchase of the property was: \_\_\_\_\_

6. The present value of the entire property is: \_\_\_\_\_

7. The monthly expenses attributed to normal and usual maintenance of the property are: \_\_\_\_\_

8. The annual taxes on the property are: \_\_\_\_\_

APPLICATION REVIEW FORM

9. The current income from the property is: \_\_\_\_\_

10. The amount of mortgages and other encumbrances on the property in question is:

a. Date of mortgage: \_\_\_\_\_

b. Scheduled maturity (payoff) date: \_\_\_\_\_

c. Present monthly payment amount: \_\_\_\_\_

d. Current principal balance: \_\_\_\_\_

e. Current interest rate: \_\_\_\_\_

11. Other factors I/we wish the Board to consider in this case are:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**C. APPEAL OF DECISION OF BUILDING INSPECTOR** *(This section to be completed for an appeal, only. Use additional pages, if needed.)*

1. Name and position of official making the decision:

Louis Zummo, Building Inspector II, Village of Pomona NY \_\_\_\_\_

2. Nature of decision:

Review of Material supplied for Planning Board and Special Use Permit to determine the permissible nature of the secondary structure on the lot and its usage. Refer to attached building inspector letter for details.

3. The decision described above is hereby appealed because:

Refer to narratives for details, and see supplemental documents for details.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**D. INTERPRETATION OF ZONING CODE** *(This section to be completed for an interpretation, only. Use additional pages, if needed.)*

1. Section(s) to be interpreted: \_\_\_\_\_

2. An interpretation of the Zoning Code is requested because:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Sri Ranganatha Temple (Religious Corporation)**

**Owners of Properties 500 FT. of  
TL 32.08-1-59**

Village of Pomona

<u>Tax Lot ID</u>	<u>Owner and Address</u>
24.20-1-5	2-6 Call Hollow LLC 5 Deborah Rd Monsey, NY 10952
32.08-1-1	Ladentown United Methodist Ch PO Box 165 Pomona, NY 10970
32.08-1-2	Stuart & Lee Anne Greene 16 Ladentown Road Pomona, NY 10970
32.08-1-3	James K Knowles & Mr. K's Carpet Svc Inc 18 Ladentown Rd Pomona, NY 10970
32.08-1-4	Jeffrey Rosen 20 Ladentown Rd Pomona, NY 10970
32.08-1-5	Village of Pomona 100 Ladentown Rd Pomona, NY 10970
32.08-1-6	Yisroel Zellermaier & Rifky Lieberman 2 Jade Ct Pomona, NY 10970
32.08-1-7	Phillip & Charlese Randolph 4 Jade Ct Pomona, NY 10970

32.08-1-8 Haimley D & Dorcilia Tanis  
6 Jade Ct  
Pomona, NY 10970

32.08-1-9 Chaya F Gordon  
8 Jade Court  
Pomona, NY 10970

32.08-1-10 Carol Y Lee & Jared J Urbanek  
10 Jade Ct  
Pomona, NY 10970

32.08-1-11 Nicholas G & Patricia C Wilson  
12 Jade Ct  
Pomona, NY 10970

32.08-1-12 Muhammad Afran & Samina Bibi  
14 Jade Ct  
Pomona, NY 10970

32.08-1-13 Shersheial & Malka Borisute  
16 Jade Ct  
Pomona, NY 10970

32.08-1-14 Israel & Devorah Israily  
18 Jade Ct  
Pomona, NY 10970

32.08-1-15 Yoel G & Bracha Kivelevitz  
15 Jade Ct  
Pomona, NY 10970

32.08-1-16 Menachem & Mirel Reizes  
13 Jade Ct  
Pomona, NY 10970

32.08-1-17 Eleven Jade Court LLC  
11 Jade Ct  
Pomona, NY 10970

32.08-1-18 Stephen E & June C Hoffman  
9 Jade Ct  
Pomona, NY 10970

32.08-1-19 Chaim & Ayala Kenig  
7 Jade Ct  
Pomona, NY 10970

32.08-1-20 Amina Smith  
5 Jade Ct  
Pomona, NY 10970

32.08-1-27 Chaim Kroynik & Malka Lieblich  
3 Opal Ct  
Pomona, NY 10970

32.08-1-28 Curtis Bell & Joan D. Sargent-Bell  
4 Opal Ct  
Pomona, NY 10970

32.08-1-55.1 Eloise Litman  
682 Rt 306  
Suffern, NY 10901

32.08-1-55.2 Congregation Rabbinical Institute of Tartikov Inc  
10 Jeffrey Pl  
Monsey, NY 10952

32.08-1-53 Cong Rabbinical College Of Tartikov Inc  
PO Box 304  
Monsey, NY 10952

32.08-1-54 Congregation Rabbinical Institute of Tartikov Inc  
10 Jeffrey Pl  
Monsey, NY 10952

32.08-1-56 Sri Ranganatha Seva  
4 Ladentown Rd  
Pomona, NY 10970

32.08-1-57 Daniel Mirro & Lynn Corbett  
24 Will Rogers Lane  
Nanuet, NY 10954

32.08-1-60 Ian B Banks & Alison K Miller  
12 Ladentown Rd  
Pomona, NY 10970

Town of Ramapo

24.19-1-4 Ramaquois Acquisition Co  
c/o Camp Group LLC  
4 New King St Ste 1  
White Plains NY 10604

24.19-1-5 Aarne & Tina W Anton  
6 Mountain Rd  
Pomona NY 10970

24.20-2-1 Peter J Carney  
17 Ladentown Rd  
Pomona NY 10970

24.20-2-2 James K & Beth Knowles  
c/o MR K's Carpet SVC INC  
18 Ladentown Rd  
Pomona NY 10970

24.20-2-3 Wilma Galiardo  
1 Call Hollow Rd  
Pomona NY 10970

32.07-1-4 Campgroup Holdings LLC  
c/o Mark Benerofe  
4 New King St  
White Plains NY 10604

32.07-1-5.1 Menachem M Kirschenbaum & Hadassah Kaplan  
13 Ladentown Rd  
Pomona NY 10970

32.07-1-5.2 Cong Achdus Yisroel Center of Jewish Unity  
9 Ladentown Rd  
Pomona NY 10970

32.07-1-6 Marie G & Michael Beaudouin  
7 Ladentown Rd  
Pomona NY 10970

32.07-1-7 William H & Reyes Donald  
Jose M & Felix Josephine  
5 Ladentown Rd  
Pomona NY 10970

32.07-1-8 Varughese G & Mariamma Karamvelil  
3 Ladentown Rd  
Pomona NY 10970

32.07-1-9 Zacharya Levine  
1 Ladentown Rd  
Pomona NY 10970

32.07-1-10 Campground Holdings LLC  
4 New King Street  
White Plains, NY 10604

32.11-1-4.1 PF RE Holdings LLC  
c/o Isidor Friedenber  
2 Cara Drive  
Suffern NY 10901

32.11-1-4.2 JHPAT Enterprises LLC  
1 Hunters Run  
Suffern NY 10901

# VILLAGE OF POMONA

100 LADENTOWN ROAD

POMONA, N.Y. 10970

Phone (845) 354-0545 ~ Fax (845) 354-0604

May 14, 2025

Sri Ranganatha Temple

8 Ladentown Rd SBL – 32.08-1-59

Pomona NY 10970

RE: Review of Material supplied for Planning Board and Special Use Permit, to determine the permissible nature of the secondary structure on the lot and its usage.

The applicant proposes a 14,672 SF two story building as an accessory usage to the expanded temple. The first floor of this structure is a “social hall” with bathrooms and a commercial kitchen. The second floor would be a housing unit consisting of 12 sleeping rooms, 9 bathrooms, 9 private living rooms, 1 communal kitchen, 1 communal dining room, and 1 communal living room. These rooms are arranged into 9 suites: Three two-bedroom units, each with two bedrooms, a private bath, closets and a common sitting area. Six one-bedroom suites, with one bedroom, a private bath, closets, and a sitting area.

According to the narrative there will be a maximum of 16 residents occupying the 12 bedrooms. The narrative also states “Presently those priests and – for those who are married- spouses and young children – live off-site in local multi family housing. The benefit will be the immediate cost savings associated with the off-site housing, proximity to the temple, and the aggregate support for the spiritual leaders in one locus.”

The applicant is requesting the area be considered a Monastery, per the narrative by Degenshein dated 8/28/2023. I do not agree with this determination for several reasons. One being the applicants own narrative states these Families currently " live in off-site local multifamily housing" Changing the location does not change the type of housing. Another issue is that a monastery would not include housing for full families, including children, but typically houses individuals. This use also does not fit with the zoning as it would be accessory family housing to an educational institution.

Based on the plans supplied the room layouts and communal eating areas, most closely resembles a dormitory. It contains private or semiprivate rooms opening to a common area with communal dining, cooking, laundry, and recreational facilities. The village does not have a code provision for Multifamily dormitories. It is not permitted.

There is also a residential dwelling unit currently in existence in the main temple for the priests. This must also be brought into compliance prior to the approval of the special use permit or the Planning Board approval. The dwelling unit is considered a principal use and the calculations should be adjusted to accommodate it according to the code.

The social hall is allowed as an accessory use to the House of Worship, as long as it is only used for temple related events. The hall can be used for Wedding ceremonies or other events, but wedding receptions are commercial. It cannot be leased out, rented out, used for commercial enterprises such as catering, affairs, events, seminars, wedding receptions, etc. If that is going to be the function or use, it is considered a commercial use and is not allowed.

There are many other issues which need to be discussed and reviewed such as the potential variances required for parking, fire truck accessibility, building coverage, lot coverage,

Best Regards,

Louis Zummo  
Building Inspector II  
Village of Pomona NY





# ATZL, NASHER & ZIGLER P.C.

ENGINEERS - SURVEYORS - PLANNERS

Web: [www.anzny.com](http://www.anzny.com)

May 21, 2025

Village of Pomona  
Zoning Board of Appeals  
100 Ladentown Road  
Pomona, NY 10970

Attn: Mr. Jesse Kaufman, Chairman  
Cc: Mr. Louis Zummo, Building Inspector II

Re: Sri Ranganatha Temple (8 Ladentown Road, Pomona, NY 10970 | Tax Lot 32.08-1-59)

Dear Chairman Kaufman and Honorable Board members:

**The following is our response to the letter issued by Louis Zummo, Building Inspector II of Village of Pomona dated May 14, 2025:**

- Comment:** The applicant proposes a 14,672 SF two story building as an accessory usage to the expanded temple. The first floor of this structure is a “social hall” with bathrooms and a commercial kitchen. The second floor would be a housing unit consisting of 12 sleeping rooms, 9 bathrooms, 9 private living rooms, 1 communal kitchen, 1 communal dining room , and 1 communal living room. These rooms are arraigned into 9 suites: Three two-bedroom units, each with two bedrooms, a private bath, closets and a common sitting area. Six one-bedroom suites, with one bedroom, a private bath, closets, and a sitting area.

*Response: The Applicant has not represented a commercial kitchen anywhere. The kitchen will serve as a warming kitchen for off-site caterers.*

*Additionally, there is no mention of "living rooms" for each bedroom suite - only a sitting area so that a priest may read while a spouse sleeps, as the bedrooms are uncommonly spare in size. There is only one communal living room for the entire Monastery.*

*Also, the proposed two-story accessory building is 12,714 sq ft in area.*

- Comment:** According to the narrative there will be a maximum of 16 residents occupying the 12 bedrooms. The narrative also states “Presently those priests and – for those who are married- spouses and young children – live

off-site in local multifamily housing. The benefit will be the immediate cost savings associated with the off-site housing, proximity to the temple, and the aggregate support for the spiritual leaders in one locus.”

*Response:* This is a statement provided in the narrative prepared by the project architect, Degenshein Architects, dated August 28, 2023.

3. Comment: The applicant is requesting the area be considered a Monastery, per the narrative by Degenshein dated 8/28/2023. I do not agree with this determination for several reasons.

- One being the applicants own narrative states these Families currently " live in off-site local multifamily housing" Changing the location does not change the type of housing.

*Response:* The essential nature of a monastery is not determined solely by the current housing type of its future residents, but by the intended use, organization, and religious structure of this proposed facility. The facility being proposed is purposefully designed to serve as a monastery — where priests will live, worship, and carry out their daily lives in a communal, and spiritually governed environment.

*While it is true that the priests currently reside in typical multifamily housing, the relocation into the proposed Monastery reflects a fundamental shift in purpose, structure, and oversight:*

- *The property will be owned, operated, and overseen by the religious institution, not by individual families.*
- *The use of the proposed space and governance of this facility will be defined by communal living, consistent with traditional interpretations of a monastery.*

*We respectfully ask that this application be considered in light of the intended use, operational model, and precedents for similarly structured religious communities, rather than relying solely on the prior living arrangements of the future residents.*

- Another issue is that a monastery would not include housing for full families, including children, but typically houses individuals.

*Response:* We respectfully submit that this is a narrow and incomplete understanding of monastic tradition and religious land use protections. There is no universal requirement that a monastery house only individuals. The nature

*of a monastery must be interpreted in the context of the specific religious tradition and its doctrine.*

*In this case, the proposed Monastery is consistent with the practices of the Applicant's faith, in which priests (most of them unmarried; some may have a spouse, and very few may have children) live communally under religious guidance and participate in structured religious life. This arrangement is not incidental but essential to the religious expression and spiritual structure of the Applicant's monastic community.*

*Religious land use is protected under the Religious Land Use and Institutionalized Persons Act (RLUIPA), which prohibits zoning authorities from imposing land use regulations that substantially burden religious exercise, unless there is a compelling governmental interest pursued through the least restrictive means.*

*Attempting to impose a narrow definition of "monastery" that excludes religious communities like the Applicant's risks violating these protections. In this case, the religious function of the proposed development, not the presence of priests (with or without spouses or children) is the controlling factor in determining the use classification of the proposed Monastery.*

*We respectfully request that the application be evaluated on the actual religious use and structure proposed, not on rigid assumptions about monastic living arrangements.*

- This use also does not fit with the zoning as it would be accessory family housing to an educational institution.

*Response: The Applicant believes that the proposed Monastery is an accessory use to a community house of worship, similar to a Mikvah, a Social Hall, or associated administrative offices. The Applicant will appeal the determination rendered by Louis Zummo dated May 14, 2025, to the Village of Pomona Zoning Board of Appeals (ZBA).*

4. Comment: Based on the plans supplied the room layouts and communal eating areas, most closely resembles a dormitory. It contains private or semiprivate rooms opening to a common area with communal dining, cooking, laundry, and recreational facilities. The village does not have a code provision for Multifamily dormitories. It is not permitted.

*Response: While it is true that the facility includes a shared kitchen, dining area, and recreational space, these architectural features are not determinative of*

*the use or classification of the proposed Monastery. Communal dining, cooking, and shared recreation are in fact hallmarks of monastic life, not evidence against it.*

*Such design facilitates religious cohesion, mutual service, and collective spiritual practice, which are essential to monastic discipline. These features do not indicate secular dormitory use, but rather reinforce the religious purpose and spiritual unity of the community. Proximity to the community house of worship is essential to provide the needed religious services.*

*Zoning classifications must consider the intended use and governing purpose of the facility — not just its physical form. Under RLUIPA, courts have made clear that the religious nature of use cannot be dismissed merely because a facility’s layout is similar to that of another secular use.*

*The design of the proposed facility directly supports its religious purpose:*

- *Residents live in spiritual community governed by religious rules;*
- *Shared facilities foster intentional religious practice, not transient or commercial habitation;*
- *The community is overseen by a religious authority and not structured for individual tenancy or economic use.*

*This is categorically different from a dormitory, which serves primarily as transient lodging for unrelated individuals with no spiritual or communal obligations beyond cohabitation.*

*It should be noted that in the case of Congregation Rabbinical College of Tartikov v. Village of Pomona, the court rejected the municipality’s argument that proposed residential buildings with shared dining and living areas constituted standard multifamily housing. Instead, it recognized the design as consistent with religious practice and protected under RLUIPA.*

*In conclusion, the physical layout of the proposed facility is entirely consistent with the long-established norms of monastic and religious communities. We respectfully assert that the building design supports — rather than contradicts — the intended monastic use and request that it be evaluated accordingly.*

5. Comment: There is also a residential dwelling unit currently in existence in the main temple for the priests. This must also be brought into compliance prior to the approval of the special use permit or the Planning Board approval. The

dwelling unit is considered a principal use and the calculations should be adjusted to accommodate it according to the code.

*Response: The Applicant asserts that it was approved.*

6. Comment: The social hall is allowed as an accessory use to the House of Worship, as long as it is only used for temple related events. The hall can be used for Wedding ceremonies or other events, but wedding receptions are commercial. It cannot be leased out, rented out, used for commercial enterprises such as catering, affairs, events, seminars, wedding receptions, etc. If that is going to be the function or use, it is considered a commercial use and is not allowed.

*Response: The proposed social gathering hall is for temple related events and congregational uses only. The Applicant has made it clear to the Technical Advisory Committee (TAC) that they have no intention of leasing or renting the space for commercial purposes.*

*However, the Applicant contends that wedding receptions are conventionally held in social halls of community houses of worship, so are other "events and seminars" denoted in the comment.*

7. Comment: There are many other issues which need to be discussed and reviewed such as the potential variances required for parking, fire truck accessibility, building coverage, lot coverage.

*Response: The Applicant has been and will continue to work closely with the Village of Pomona to ensure compliance of the proposed site development plan with current codes and bulk requirements.*

*A parking plan was submitted on 6/9/23 and fire truck accessibility was submitted on 8/28/24.*



RADHIKA NAGUBANDI

Attorney-at-Law

---

6 Crum Creek Road  
New City, NY 10956  
(845) 642-3701  
nagubandilaw@gmail.com

June 12, 2025

Members of the Zoning Board of Appeals  
Village of Pomona  
100 Ladentown Road  
Pomona, NY 10970

Re: Appeal to ZBA: Determination of Building Inspector dated May 14, 2025  
Planning Board Application of 1/23/2023 and  
Special Permit Application dated 12/12/2024

Property owner Sri Ranganatha Temple  
Property Address 8 Ladentown Road, Pomona, NY 10970  
Section 32.08 Block 1 Lot 59

I. **Appeal to review the determination of the Building Inspector dated May 14, 2025:**

1. The applicant Sri Ranganatha Temple is a New York Religious Corporation hereinafter referred to as “Temple/ Appellant” obtained a Special permit in 1996 and constructed a house of worship in the Village of Pomona, at the above said property.

2. On January 23, 2023, the Temple made an application for expansion of the existing premises by adding a closed corridor to facilitate the religious processions, particularly during winter months along with an accessory social hall and a monastery type of use on the second floor of the proposed social hall for the residences of the Temple's ordained Hindu priests. Said 2023 application consists of a Planning Board application as required by the code, was processed through Village's TAC process.
3. Beginning in February of 2023, the Villages' TAC unit required a determination of the building inspector as to the issues raised by the TAC, code interpretation of the monastery use of the proposed second floor of the social hall. The TAC requested the building inspector once in person and subsequently several times by correspondence dated 2/7/23, 8/4/23, 9/14,23 and 8/28/24 requested building inspector's code interpretation.
4. On May 14, 2025, after two (2) years and three (3) months from the date of the first request for code interpretation, the building inspector finally gave a determination letter, which is annexed here to.
5. The Applicant disagrees with the interpretation of the building inspector who states that the proposed monastery use by the ordained priests is not a permitted accessory use although a small monastery is incidental and needed accessory use for a house of worship. The New York State Building Code Section 310.4 residential Group R-3, provides that a primarily non-transient in nature

- including congregate living facilities with fewer than 16 occupants as a monastery, giving guidance to this board to determine the proposed monastery use as a permitted accessory use of a house of worship. Since the village code does not define monastery use, but the same is an essential and necessary component of a house of worship for a Hindu Temple, this board can take the guidance from the State of New York building code to determine the proposed small monastery as an accessory use permitted by the village code.
6. The Village Code of Pomona provides in section 130.4 accessory use as a use customarily incidental and subordinate to the principal permitted use on the same lot and located on the same lot therewith. Clergy's residences, convents and monasteries are accepted as accessory uses for houses of worship for centuries in the State of New York and permitted a small monastery as an accessory use.
  7. The building inspector made an error in determining that the Appellant's proposed monastery use as a dormitory use. The Village Code in Section 130-10 F (12) defines a dormitory use as a permitted accessory use with an educational use. Since the Appellant is not an educational institute, said determination is not applicable to the Appellant's house of worship.
  8. The proposed use on the second floor of the social hall falls under the permitted accessory use for a house of worship and the building inspector's determination that it is a dormitory is wrong and this board shall interpret the building code of the Village of Pomona and the State of New York and make a determination that

the proposed small monastery use is a permitted accessory use for the Applicant's house of worship. Appellant's Engineers, Atzl, Nasher & Zigler, P.C., in its annexed letter dated May 21, 2025, provided detailed responses to the building inspector's determination letter dated May 14, 2025; and the compelling religious reasons, explanation and in-depth analysis why the monastery use in the subject case should be permitted as an accessory use and responds to other issues raised by the building inspector.

9. Please see annexed letter from Appellant's engineers, Atzl, Nasher & Zigler, P.C. dated May 21, 2025, which is incorporated and made a part hereof.
10. The Village Code Section 130-28 (F) authorizes this Zoning Board of Appeals to decide any questions involving the interpretation of any of the provisions of the code made by any administrative official charged with the enforcement of the code, in this instance, the determination of the building inspector. As a result, this Board is authorized to reverse the determination of the building inspector and interpret the proposed monastery use as a permitted accessory use.

**II. Request for Area variance from Section 130-10 G (6 ) of the Village Code:**

11. The building inspector's determination dated May 14, 2025 provides that certain bulk variances are required for the proposed expansion by the Appellant.
12. The Village Code of Pomona provides 10% building coverage for community houses of worship. The Applicant's proposed building coverage exceeds the 10% building coverage and requests to grant an area variance permitting up to 14.5% building coverage.

13. The Applicant's religious practices consist of several processions around the sanctuary. Specifically, during Vaikunta Ekadasi, a high holiday which falls during the months of December or January is based on the lunar calendar. During said special holiday, priests and devotees are required to walk with barefoot around the temple. To have respite from bad weather, a closed corridor is proposed for the barefoot devotees during processions and also to accommodate a chariot to take around the sanctuary. To safely maneuver the chariot and accommodate the people to walk inside the corridor, a fairly large corridor is required. The entire first floor of the closed corridor consists of 15,118 square feet and is only used for processions. As a result, the Applicant needs a minor area variance to meet the religious needs and accommodate the enclosed corridor.
14. The permitted building coverage is 10% and the proposed building coverage is 14.2% and the proposed lot coverage is 34.5%, as it is apparent that most of the area variance is required due to the closed corridor of 15,118 square feet.
15. Although the Village Code section 130.10 requires a minimum lot of 3 acres for a house of worship, the Applicant's subject property is 4.7 acres in area.
16. The requested area variances are minimal and eliminate practical difficulty to conduct the religious practices of processions without the difficulties from the effects of weather conditions. The variance eliminates disturbances to the neighbors, if any, by being conducted inside the enclosed corridor. No

substantial change to the neighborhood nor cause any public safety issues. No other solution is available other than obtaining the variance.

17. Additionally, RLUIPA provides that no government shall impose or implement a land use regulation in a manner that imposes substantial burden on religious institutions unless in furtherance of a compelling governmental interest and it is the least restrictive means of furthering said compelling governmental interest.

18. Strict imposition of the conditions of the area requirements substantially burdens the Appellant's religious practices and reasonable accommodation is needed to further the religious practices of the Appellant, Hindu Temple.

19. Further, RULIPA prohibits discrimination in zoning and land use regulations. The Village of Pomona code discriminates against communal houses of worship by placing more stringent areas and lot coverage requirements than for neighborhood houses of worship.

20. The village code permits 15% building coverage and 50% lot coverage for neighborhood houses of worship. However, it discriminates against community houses of worship by imposing higher restrictions permitting only 10% building coverage and 25% lot coverage. As such it violates the RLUIPA provisions.

21. Granting area variance is a reasonable accommodation to the Appellant from the strict zoning requirements.

Based on the above, the Appellant respectfully requests that (a) the building inspector's interpretation be reversed by this board and (b) find that the monastery use of the second floor is a permitted accessory use for the Appellant's house of worship and (c) grant the

necessary area variances to construct the proposed expansion and such other and further relief as this board may find necessary and just.

New City: New York

*s/RadhikaNagubandi*

---

Radhika Nagubandi, Esq.  
Pro bono Attorney for the Appellant  
6 Crum Creek Road  
New City, NY 10956  
845-642-3701  
nagubandilaw@gmail.com

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1542 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 892 1542 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 924 1542 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> </ul>		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

\_\_\_\_\_

\_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? \_\_\_\_\_

b. What police or other public protection forces serve the project site?  
\_\_\_\_\_

c. Which fire protection and emergency medical services serve the project site?  
\_\_\_\_\_

d. What parks serve the project site?  
\_\_\_\_\_  
\_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
\_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres

b. Total acreage to be physically disturbed? \_\_\_\_\_ acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

• Total number of phases anticipated \_\_\_\_\_

• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year

• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\*  $[(\text{Proposed Buildings sq. ft.} - \text{Existing Buildings sq. ft.}) / \text{Existing Buildings sq. ft.}] \times 100$   
 $[(58,428 \text{ sq. ft.} - 15,514 \text{ sq. ft.}) / 15,514 \text{ sq. ft.}] \times 100$

f. Does the project include new residential uses? **PROPOSED MONASTERY WITH NO MORE THAN 16 RESIDENT OCCUPANTS. SEE ARCHITECTURAL PLANS FOR DETAILS.**  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,  
 i. Total number of structures \_\_\_\_\_  
 ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,  
 i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:  
 i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_  
 \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:  
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day \*

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

**\* House of worship/social hall:**

According to the 2012, U.S. Energy Information Administration's Commercial Buildings Energy Consumption Survey data, a public assembly building will have a water consumption (per thousand square feet) of 70.2 gallons per day.

**Monastery:**

Per the NYSDEC, the average person uses 50 gallons of water a day. Calc: 50 gallons x 16 occupants = 800 gallons of water

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

---

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

---

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No  
 If Yes:  
 i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No  
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
 If Yes:  
 i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_  
 iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_  
 iv. Does the proposed action include any shared use parking?  Yes  No  
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_  
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No  
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No  
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
 If Yes:  
 i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_  
 iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.  
 i. During Construction:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_  
 ii. During Operations:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_

\* According to the 2012 U.S. Energy Information Administration's Commercial Buildings Energy Consumption Survey data, religious worship buildings had a electricity consumption of 5.2 kWh per square foot and social/meeting buildings had a electricity consumption of 10.2 kWh per square foot.

Calculation: 45,714 sq. ft. (house of worship) x 5.2 kWh = 237,712.8 kWh  
 6,453 sq. ft. (social hall) x 10.2 kWh = 65,820.6

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>_____</li> <li>• Operation: _____</li> <li>_____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>_____</li> <li>• Operation: _____</li> <li>_____</li> </ul>	

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

---

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

---

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  

- Dam height: \_\_\_\_\_ feet
- Dam length: \_\_\_\_\_ feet
- Surface area: \_\_\_\_\_ acres
- Volume impounded: \_\_\_\_\_ gallons OR acre-feet

ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

---

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  

- If yes, cite sources/documentation: \_\_\_\_\_

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_

---

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

---

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database      Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database      Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

---

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_%

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features. **NO WETLANDS OR WATERBODIES ON PROJECT SITE**

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: Ladentown United Methodist Church

iii. Brief description of attributes on which listing is based:  
Areas of significance include architecture and social history.

---

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

---

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

---

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: Palisades Interstate Parkway, Lake Welch Parkway

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): State Scenic Byway, State Parkway

iii. Distance between project and resource: 1.48- 3.64 miles.

---

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

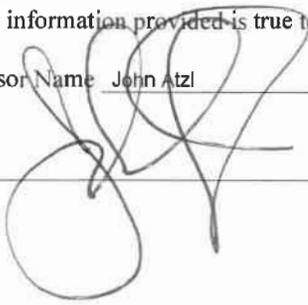
Attach any additional information which may be needed to clarify your project.

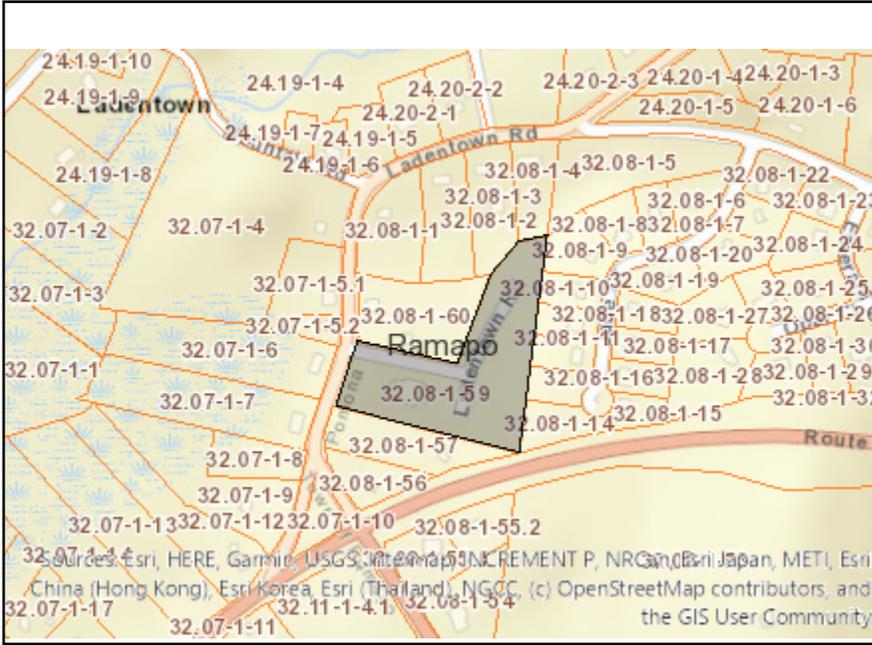
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name John Atzi Date 7-22-24 , Revised 11-26-24

Signature  Title Professional Surveyor



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	860-15
E.2.h.iv [Surface Water Features - Stream Classification]	B
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No

E.2.l. [Aquifers]	Yes
E.2.i. [Aquifer Names]	Principal Aquifer, Primary Aquifer, Sole Source Aquifer Names:Ramapo SSA
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Timber Rattlesnake
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Ladentown United Methodist Church
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



## Spill Incidents Database Search Details

---

### Spill Record

#### Administrative Information

**DEC Region:** 3

**Spill Number:** 1012830

#### Spill Date/Time

**Spill Date:** 03/24/2011    **Spill Time:** 12:30:00 PM

**Call Received Date:** 03/24/2011    **Call Received Time:** 03:37:00 PM

#### Location

**Spill Name:** DONALD

**Address:** 5 LADENTOWN RD

**City:** POMONA    **County:** Rockland

#### Spill Description

**Material Spilled**    **Amount Spilled**    **Resource Affected**

#2 fuel oil                      UNKNOWN    Soil

**Cause:** Equipment Failure

**Source:** Private Dwelling

**Waterbody:**

#### Record Close

**Date Spill Closed:** 11/14/2011

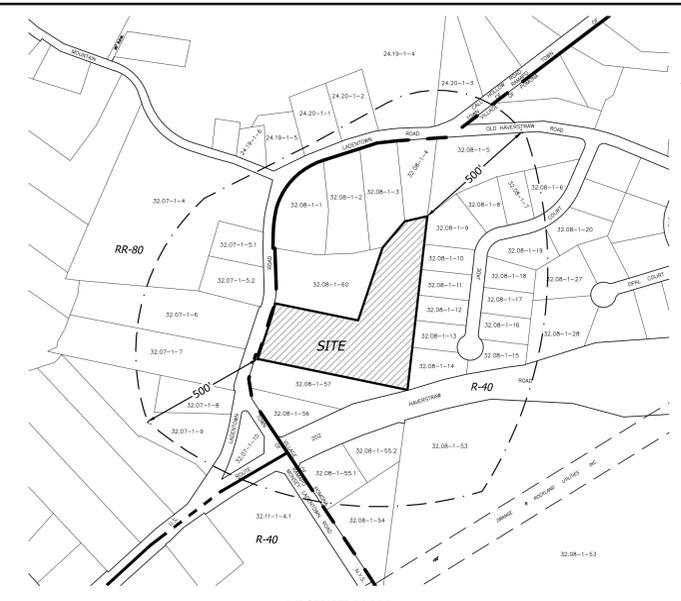
"Date Spill Closed" means the date the spill case was closed by the case manager in the Department of Environmental Conservation (the Department). The spill case was closed because either; a) the records and data submitted indicate that the necessary cleanup and removal actions have been completed and no further remedial activities are necessary, or b) the case was closed for administrative reasons (e.g., multiple reports of a single spill consolidated into a single spill number). The Department however reserves the right to require additional remedial work in relation to the spill, if in the future it determines that further action is necessary.

If you have questions about this reported incident, please contact the [Regional Office](#) where the incident occurred.

[Return To Results](#)

[Refine This Search](#)

---

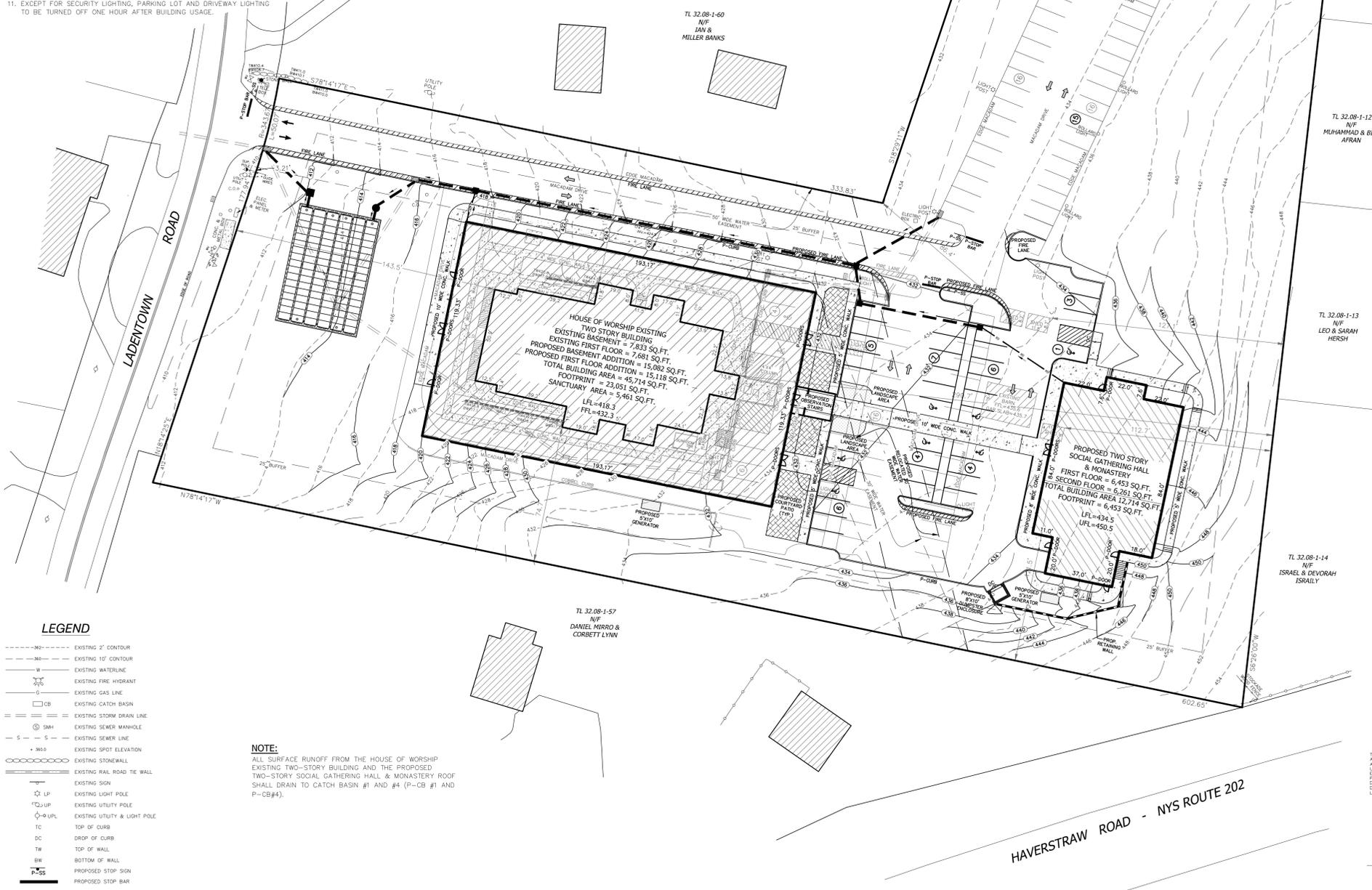


VICINITY MAP  
SCALE: 1"=300'

- NOTES:**
- SITE PLAN REFERENCE: LOT 2 & 3 SUBDIVISION MAP "DAVID LAMOND" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON FEBRUARY 28, 1989 IN BOOK 100, PAGE 28, AS MAP NO. 6296.
  - TAX MAP REFERENCE: VILLAGE OF POMONA TAX MAP SECTION 32.08, BLOCK 1, PARCEL 59.
  - THIS MAP DOES NOT CONFLICT WITH COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239LKM OF THE GENERAL MUNICIPAL LAWS.
  - DURING COURSE OF CONSTRUCTION THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID CREATION OF DRAINAGE EROSION AND SILTING PROBLEMS IN ACCORDANCE WITH REQUIREMENTS OF THE U.S.D.A SOIL CONSERVATION SERVICE AND THE VILLAGE ENGINEER.
  - THIS PARCEL SUBJECT TO ALL REGULATIONS, ORDINANCES, AND SPECIFICATIONS OF THE VILLAGE OF POMONA AND WITH ALL DETAILS AND SPECIFICATIONS AND APPROVED SITE PLANS ON FILE WITH THE VILLAGE OF ENGINEER'S OFFICE.
  - ALL DISTURBED AREAS TO BE TOPSOILED AND SEEDED WITH GRASS MIXTURE NOT TO EXCEED 20% RYE GRASS AND TO OCCUR WITHIN 30 DAYS OF COMPLETION OR NON-USE.
  - ALL EXISTING LIGHTING TO BE SHIELDED SO AS NOT TO IMPACT ADJOINING PROPERTIES OR ANY PUBLIC ROAD.
  - THERE SHALL BE NO OUTDOOR PUBLIC ADDRESS SYSTEMS.
  - CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED UNTIL VILLAGE ENGINEER CERTIFY THAT ALL PLANTINGS ARE IN COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN.
  - ALL PLANTINGS WILL BE MAINTAINED IN HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE.
  - EXCEPT FOR SECURITY LIGHTING, PARKING LOT AND DRIVEWAY LIGHTING TO BE TURNED OFF ONE HOUR AFTER BUILDING USAGE.

**OWNERS WITHIN 500 FEET:**

TAX LOT	SITE ADDRESS	TAX LOT	SITE ADDRESS
24.19-1-4	RAMAQUIDS ACQUISITION CO C/O CAMP GROUP LLC 21 LADENTOWN RD POMONA, NY 10970	32.08-1-10	CAROL Y. LEE & JARED J. URBANEK 10 JADE CT POMONA, NY 10970
24.19-1-5	ARNE & TRINA W. ANTON 2 MOUNTAIN RD POMONA, NY 10970	32.08-1-11	NICHOLAS G. & PATRICIA C. WILSON 12 JADE CT POMONA, NY 10970
24.19-1-6	ARNE & TRINA W. ANTON 6 MOUNTAIN RD POMONA, NY 10970	32.08-1-12	MUHAMMAD AFRAN & SAMINA BIBI 14 JADE CT POMONA, NY 10970
24.20-1-1	VALLE VIVIAN DEL 18 CALL HOLLOW RD POMONA, NY 10970	32.08-1-13	SHEROHEAL & MALKA BORISUTE 16 JADE CT POMONA, NY 10970
24.20-1-2	LEAH ASKARNAM 12 CALL HOLLOW RD POMONA, NY 10970	32.08-1-14	ISRAEL & DEVORAH ISRAELY 18 JADE CT POMONA, NY 10970
24.20-1-3	SETH YEDWAB & SELMA ROCHEL ABED 10 CALL HOLLOW RD POMONA, NY 10970	32.08-1-15	YOEL G. & BRACHA KIVLEVITZ 15 JADE CT POMONA, NY 10970
32.07-1-4	CAMPGROUP HOLDINGS LLC C/O MARR BENEFORE 15 LADENTOWN RD POMONA, NY 10970	32.08-1-16	ALLEN GRAFSTEIN 13 JADE CT POMONA, NY 10970
32.07-1-5	MENACHEM W. KIRSCHENBAUM & MADISSAN KAPLAN 13 LADENTOWN RD POMONA, NY 10970	32.08-1-17	ELEVEN JADE LLC 11 JADE CT POMONA, NY 10970
32.07-1-5.2	ACHUUS YISROEL CONG CENTER OF JEWISH UNITY 9 LADENTOWN RD POMONA, NY 10970	32.08-1-18	STEPHEN E. & JUNE C. HOFFMAN 9 JADE CT POMONA, NY 10970
32.07-1-6	MARIE G. & MICHAEL BEAUDOIN 7 LADENTOWN RD POMONA, NY 10970	32.08-1-19	GAM PROPERTY CORP C/O HERBERT ZAKARIN 7 JADE CT POMONA, NY 10970
32.07-1-7	WILLIAM H. & REYES JOSE M. & FELIX JOSEPHINE 5 LADENTOWN RD POMONA, NY 10970	32.08-1-20	AMINA SMITH 5 JADE CT POMONA, NY 10970
32.07-1-8	VARUGHISE G. & MARIAMMA KARAMBEE 3 LADENTOWN RD POMONA, NY 10970	32.08-1-21	CHAIM KROJNYK & MALKA LEBLICH 3 OPAL CT POMONA, NY 10970
32.07-1-9	ZACHARIA LEVINE 1 LADENTOWN RD POMONA, NY 10970	32.08-1-22	CURTIS BELL & JOAN D SARGENT-BELL 4 OPAL CT POMONA, NY 10970
32.07-1-10	NICHOLAS L. & LESLIE SANDERSON 2 LADENTOWN RD POMONA, NY 10970	32.08-1-53	CONG RABBINICAL COLLEGE OF TARTKOV INC 652 RT 306 SUFFERN, NY 10901
32.08-1-1	LADENTOWN UNITED METHODIST CH 14 LADENTOWN RD POMONA, NY 10970	32.08-1-54	CONGREGATION RABBINICAL INSTITUTE OF TARTKOV INC 672 RT 306 SUFFERN, NY 10901
32.08-1-2	STUART & LEE ANNE GREENE 16 LADENTOWN RD POMONA, NY 10970	32.08-1-55.1	ELOISE UTMAN 682 RT 306 SUFFERN, NY 10901
32.08-1-3	JAMES K. KNOWLES & MR. K'S CARPET SVC INC 18 LADENTOWN RD POMONA, NY 10970	32.08-1-55.2	CONGREGATION RABBINICAL INSTITUTE OF TARTKOV INC 680 RT 306 SUFFERN, NY 10901
32.08-1-4	JEFFERY ROSEN 20 LADENTOWN RD POMONA, NY 10970	32.08-1-56	SRI RANGANATHA SEVA 4 LADENTOWN RD POMONA, NY 10970
32.08-1-5	VILLAGE OF POMONA 22 LADENTOWN RD POMONA, NY 10970	32.08-1-57	DANIEL MIRRO & CORBETT LYNN 6 LADENTOWN ROAD POMONA, NY 10970
32.08-1-6	SHEILA ANN DURANT 2 JADE CT POMONA, NY 10970	32.08-1-60	IAN B BANKS & ALISON K MILLER 12 LADENTOWN RD POMONA, NY 10970
32.08-1-7	PHILIP & CHARLENE RANDOLPH 4 JADE CT POMONA, NY 10970	32.11-1-4.1	FF RE HOLDINGS LLC C/O FREDENBERG ISIDOR 1175 HAVERSTRAW RD SUFFERN, NY 10901
32.08-1-8	HANLEY D. & DORCILA TAVIS 6 JADE CT POMONA, NY 10970		
32.08-1-9	CHAYA F. GORDON 8 JADE COURT POMONA, NY 10970		



**BULK REQUIREMENTS- COMMUNITY HOUSE OF WORSHIP**  
S130-10 SPECIAL PERMIT REQUIRED FROM VILLAGE BOARD

ZONE-R-40	REQUIRED / PERMITTED	EXISTING	PROPOSED
MINIMUM LOT AREA	3.0 ACRES (NET)	4.778 ACRES	4.778 ACRES
MINIMUM STREET FRONTAGE	100 FT.	228 FT.	228 FT.
MINIMUM FRONT SETBACK	50 FT.	143.5 FT.	115 FT.
MINIMUM SIDE SETBACK	50 FT.	74.1 FT.	54 FT./50 FT.
MINIMUM REAR SETBACK	50 FT.	290.7 FT.	254 FT./50 FT.
MAXIMUM BUILDING COVERAGE	10%	4.2%	14.2%*
MAXIMUM LOT COVERAGE	25%	26%	34.5%*
MAXIMUM FLOOR AREA RATIO	0.30	0.08	0.281
MAXIMUM BUILDING HEIGHT	35 FT.	< 35 FT.	35 FT.

**BUFFERS:**

MINIMUM FRONT YARD BUFFER 25 FT.  
MINIMUM SIDE YARD BUFFER 25 FT.  
MINIMUM REAR YARD BUFFER 25 FT.

**PARKING REQUIREMENTS:**

1 SPACE / 200 SQ.FT. OF MAIN SANCTUARY  
5,461 SQ.FT. / 1 SPACE + 200 SQ.FT. = 27.3 OR 28 SPACES REQUIRED  
1 SPACE / BEDROOM = MONASTERY  
12 BEDROOMS (1 SPACE PER BEDROOM) = 12 SPACES REQUIRED  
NET TOTAL PARKING REQUIRED = 40 SPACES  
TOTAL PARKING PROVIDED = 67 SPACES

**LOT AREA COVERAGE CALCULATION:**

	EXISTING	PROPOSED
BUILDINGS (FOOTPRINT)	8,258 SQ.FT.	29,504 SQ.FT.
ACCESSORY STRUCTURES	830 SQ.FT.	TBR
CONCRETE WALKS/PAVERS	3,970 SQ.FT.	6,939 SQ.FT.
ROADWAYS & PARKING AREAS	40,612 SQ.FT.	35,298 SQ.FT.
TOTAL	53,670 SQ.FT.	71,741 SQ.FT.

**FLOOR AREA CALCULATION:**

HOUSE OF WORSHIP	45,714 SQ.FT.
SOCIAL GATHERING HALL & MONASTERY	6,453 SQ.FT.
TOTAL FLOOR AREA	52,167 SQ.FT.

**BUILDING COVERAGE CALCULATION:**

HOUSE OF WORSHIP	23,091 SQ.FT.
SOCIAL GATHERING HALL & MONASTERY	6,453 SQ.FT.
TOTAL BUILDING COVERAGE	29,544 SQ.FT.

**DRAWING LIST**

DRAWING NO.	TITLE	ORIGIN DATE	REVISION DATE
DRAWING 1	- SITE PLAN	JANUARY 19, 2023	NOVEMBER 26, 2024
DRAWING 2	- EXISTING CONDITION PLAN	JANUARY 19, 2023	NOVEMBER 26, 2024
DRAWING 3	- GRADING PLAN	JULY 22, 2024	NOVEMBER 26, 2024
DRAWING 4	- DETAILS	JULY 22, 2024	NOVEMBER 26, 2024
DRAWING 5	- EROSION & SEDIMENT CONTROL PLAN	JULY 22, 2024	NOVEMBER 26, 2024
DRAWING 6	- FIRE TRUCK ACCESS PLAN	JANUARY 19, 2023	NOVEMBER 26, 2024
DRAWING 7	- TREE PLAN	JULY 22, 2024	NOVEMBER 26, 2024

**TAX MAP REFERENCE:**  
VILLAGE OF POMONA TAX MAP SECTION 32.08, BLOCK 1, PARCEL 59

**OWNER & APPLICANT:**  
SRI RANGANATHA SEVA SAMITHI, INC.  
8 LADENTOWN ROAD  
POMONA, NY 10970

**TOTAL AREA:**  
208,150 SQ.FT.  
4.778 ACRES

- REFERENCES:**
- SITE PLAN FOR SRI RANGANATHA TEMPLE DATED MAY 27, 1991, LAST REVISED SEPTEMBER 9, 1996 PREPARED BY K.L.K. SURVEYING & ENGINEERS.
  - REVISED SITE PLAN FOR SRI RANGANATHA TEMPLE DATED JUNE 17, 2009, LAST REVISED DECEMBER 9, 2009 PREPARED BY MASER CONSULTING P.A.
  - SUBDIVISION ENTITLED SRI RANGANATHA TEMPLE RE-SUBDIVISION FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON JUNE 17, 2010, IN BOOK 128, PAGE 55, AS MAP NO. 8111.

**DISTRICTS:**

- SCHOOL DISTRICT - RAMAPO CENTRAL
- FIRE DISTRICT - MOLESTON
- WATER DISTRICT - VECOLIA-POMONA
- SEWER DISTRICT - RAMAPO
- LIGHTING DISTRICT - POMONA

**DATUM:**  
NAVD 1988

\*UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMPLOYER SEAL OR A NOTATION ON SECTION 208B, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW...\*

**STATE OF NEW YORK**  
RYAN A. NASHER, P.E.  
N.Y.S. P.E. LIC. NO. 89066

**STATE OF NEW YORK**  
JOHN R. ATZEL  
N.Y.S. P.E. LIC. NO. 50228

**ATZEL, NASHER & ZIGLER P.C.**  
ENGINEERS - SURVEYORS - PLANNERS  
232 North Main Street  
New City, New York 10956  
Tel: (845) 634-4694  
Fax: (845) 634-5543  
E-mail: info@anzny.com  
Web: www.ANZNY.com

**PROJECT:**  
SRI RANGANATHA TEMPLE  
(RELIGIOUS CORPORATION)

**VILLAGE OF POMONA  
ROCKLAND COUNTY, NEW YORK**

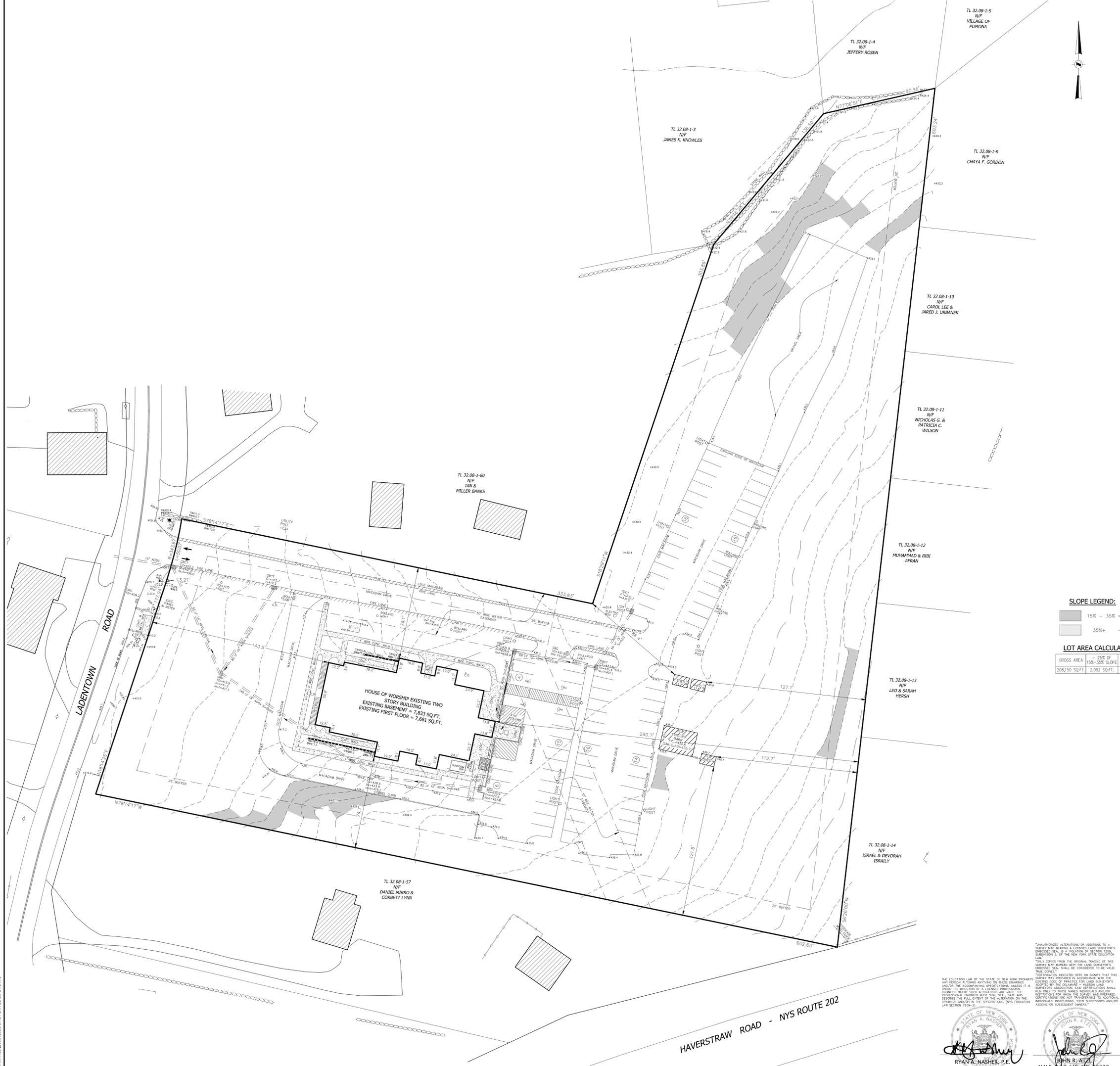
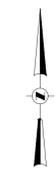
**SITE PLAN**

DRAWN BY: ED	CHECKED BY: JRA
DATE: JANUARY 19, 2023	SCALE: 1" IN. = 30' FT.
PROJECT NO: 1635	DRAWING NO: 1

P:\DRAWINGS\1635\1635 SITE PLAN\11-26-24.DWG

**LEGEND**

- 2' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- --- EXISTING WATERLINE
- --- EXISTING FIRE HYDRANT
- --- EXISTING GAS LINE
- --- EXISTING STORM DRAIN LINE
- --- EXISTING SEWER LINE
- --- EXISTING STORM GRAB LINE
- --- EXISTING SEWER MANHOLE
- --- EXISTING SEWER LINE
- --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING RAIL ROAD TIE WALL
- --- EXISTING SIGN
- --- EXISTING LIGHT POLE
- --- EXISTING UTILITY POLE
- --- EXISTING UTILITY & LIGHT POLE
- --- TOP OF CURB
- --- DROP OF CURB
- --- TOP OF WALL
- --- BOTTOM OF WALL



**SLOPE LEGEND:**

- 15% - 35% = 8,369 SQ.FT.
- 35%+ = 0 SQ.FT.

**LOT AREA CALCULATION:**

GROSS AREA	- 25% OF 15%-35% SLOPE	- 100% OF 35% SLOPE	NET AREA
208,150 SQ.FT.	2,092 SQ.FT.	0 SQ.FT.	206,058 SQ.FT.

REVISION	DATE	DESCRIPTION
4	11-26-24	REVISE PROJECT TITLE
3	7-22-24	PER DRAINAGE MITIGATION PLAN AND DETAIL
2	8-29-23	REV. BLDGS & PER TAC COMMENTS 8-9-23
1	6-9-23	REV. BLDGS & PER TAC COMMENTS 2-8-23

**AN&Z** ATZL, NASHER & ZIGLER P.C.  
 ENGINEERS - SURVEYORS - PLANNERS  
 232 North Main Street  
 New City, New York 10956  
 Tel: (845) 634-4694  
 Fax: (845) 634-5543  
 E-mail: info@anzny.com  
 Web: www.ANZNY.com

PROJECT: **SRI RANGANATHA TEMPLE (RELIGIOUS CORPORATION)**  
 VILLAGE OF POMONA  
 ROCKLAND COUNTY, NEW YORK

**EXISTING CONDITION**

DRAWN BY: ED	CHECKED BY: JRA
DATE: JANUARY 19, 2023	SCALE: 1 IN. = 30 FT.
PROJECT NO: 1635	DRAWING NO: 2

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL OR A VIOLATION OF SECTION 2008, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.  
 THIS DRAWING IS THE PROPERTY OF ATZL, NASHNER & ZIGLER P.C. ANY REPRODUCTION OR DISTRIBUTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF ATZL, NASHNER & ZIGLER P.C. IS STRICTLY PROHIBITED.  
 THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALIENING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALIENATING HAS BEEN MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALIENATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS (NYS EDUCATION LAW SECTION 2008-2).

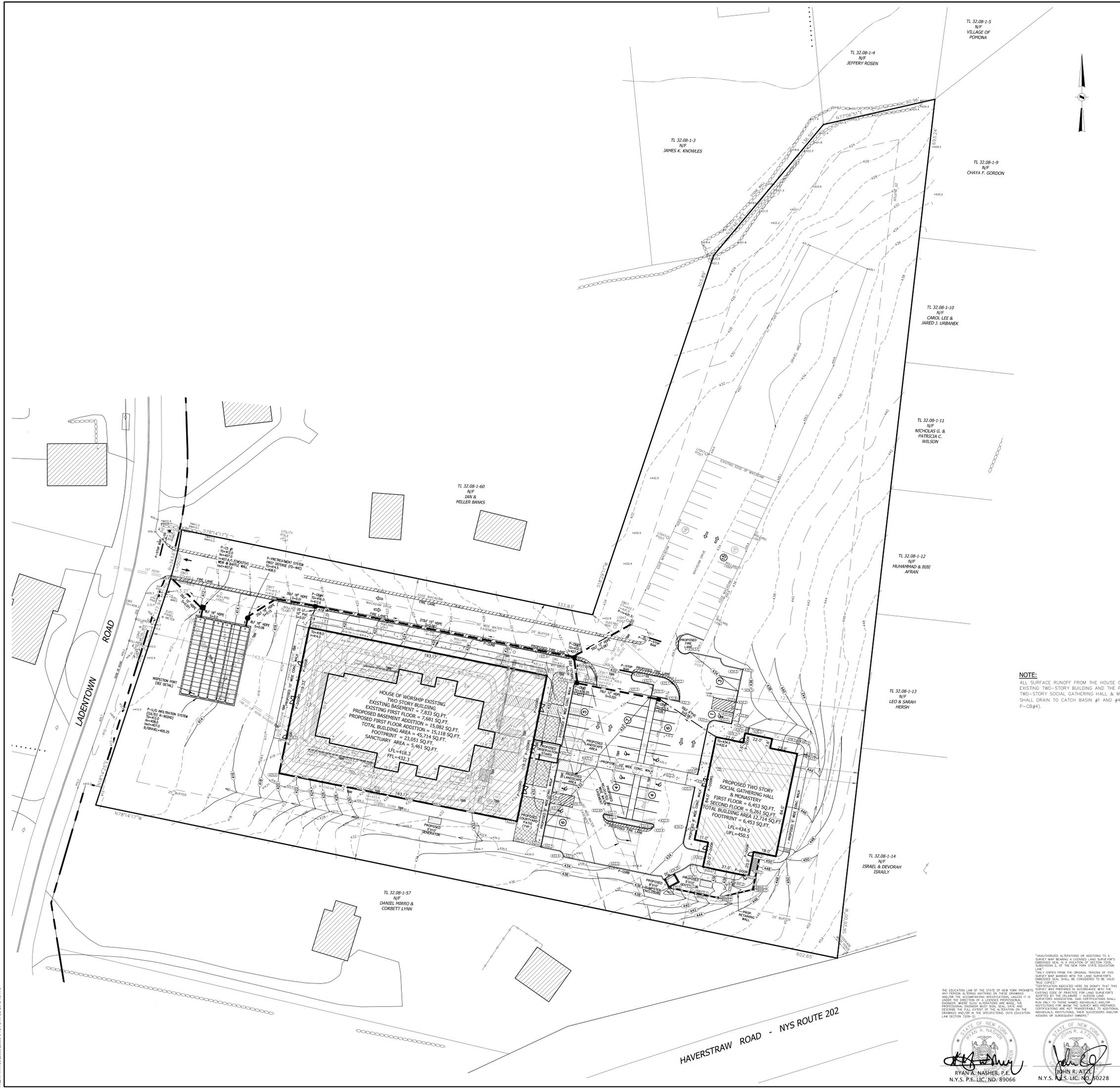
STATE OF NEW YORK  
 RYAN A. NASHER, P.E.  
 N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK  
 JOHN R. ATZL  
 N.Y.S. LIC. NO. 50228

HAVERSTRAW ROAD - NYS ROUTE 202

**LEGEND**

- 30' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- 360.0 --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING RAIL ROAD TIE WALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- UPL --- EXISTING UTILITY POLE
- TC --- TOP OF CURB
- DC --- DROP OF CURB
- TW --- TOP OF WALL
- BW --- BOTTOM OF WALL



HOUSE OF WORSHIP EXISTING  
 TWO STORY BUILDING  
 EXISTING BASEMENT = 7,833 SQ.FT.  
 PROPOSED FIRST FLOOR ADDITION = 15,082 SQ.FT.  
 TOTAL BUILDING AREA = 45,714 SQ.FT.  
 FOOTPRINT = 23,051 SQ.FT.  
 SANCTUARY AREA = 5,461 SQ.FT.  
 LFL=418.3  
 UFL=432.3

PROPOSED TWO STORY  
 SOCIAL GATHERING HALL  
 & MONASTERY  
 FIRST FLOOR = 6,453 SQ.FT.  
 SECOND FLOOR = 6,281 SQ.FT.  
 TOTAL BUILDING AREA 12,734 SQ.FT.  
 FOOTPRINT = 6,453 SQ.FT.  
 LFL=424.5  
 UFL=450.5

**NOTE:**  
 ALL SURFACE RUNOFF FROM THE HOUSE OF WORSHIP  
 EXISTING TWO-STORY BUILDING AND THE PROPOSED  
 TWO-STORY SOCIAL GATHERING HALL & MONASTERY ROOF  
 SHALL DRAIN TO CATCH BASIN #1 AND #4 (P-CB #1 AND  
 P-CB#4).

REVISION	DATE	DESCRIPTION
4	11-26-24	REVISE PROJECT TITLE
3	7-22-24	PER DRAINAGE MITIGATION PLAN AND DETAIL
2	8-29-23	REV. BLDGS & PER TAC COMMENTS 8-9-23
1	6-9-23	REV. BLDGS & PER TAC COMMENTS 2-8-23

**ATZL, NASHER & ZIGLER P.C.**  
 ENGINEERS-SURVEYORS-PLANNERS  
 232 North Main Street  
 New City, New York 10956  
 Tel: (845) 634-4894  
 Fax: (845) 634-5543  
 E-mail: info@anzny.com  
 Web: www.ANZNY.com

PROJECT: **SRI RANGANATHA TEMPLE  
 (RELIGIOUS CORPORATION)**

VILLAGE OF POMONA  
 ROCKLAND COUNTY, NEW YORK

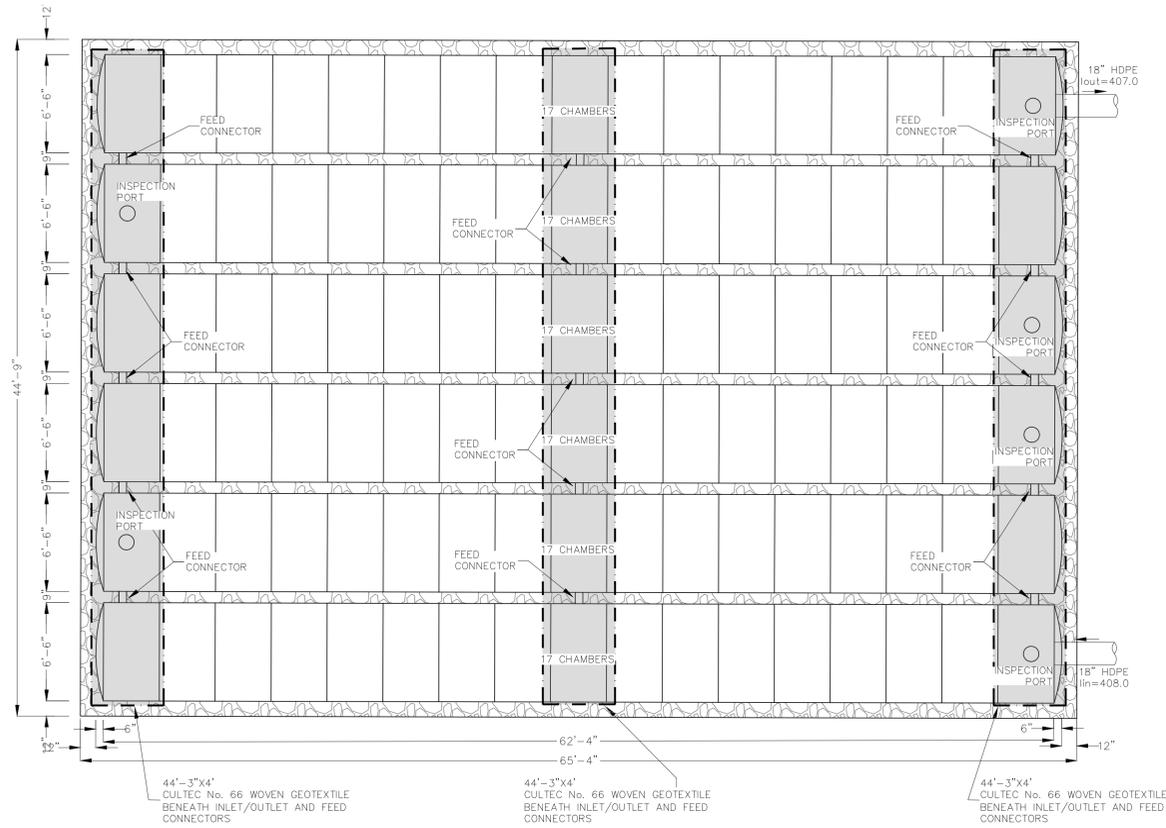
TITLE: **GRADING PLAN**

DRAWN BY: ED	CHECKED BY: JRA
DATE: JULY 22, 2024	SCALE: 1" IN. = 30' FT.
PROJECT NO: 1635	DRAWING NO: 3

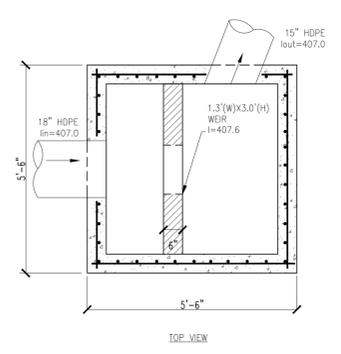
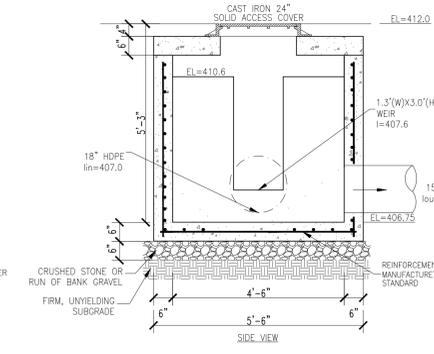
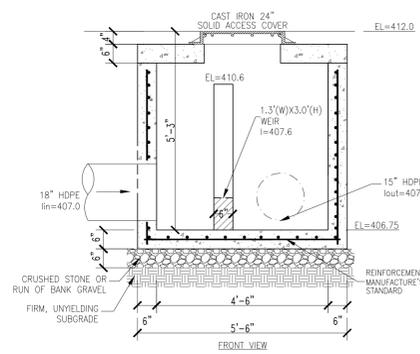
STATE OF NEW YORK  
 RYAN A. NASHER, P.E.  
 N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK  
 JOHN R. ATZL, P.E.  
 N.Y.S. P.E. LIC. NO. 50228

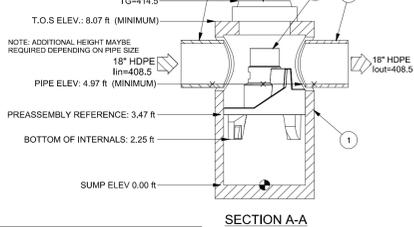
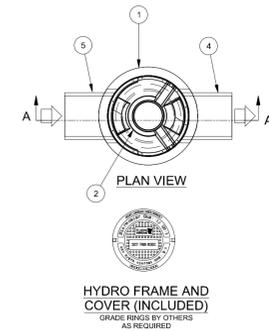
P:\DRAWINGS\LESS\LESS SITE PLAN\11-26-24.DWG



CULTEC No. 66 WOVEN GEOTEXTILE BENEATH INLET/OUTLET AND FEED CONNECTORS  
**P-U/G INFILTRATION SYSTEM (CULTEC RECHARGER 902HD HEAVY DUTY) DETAIL**  
 SCALE: 1"=5'

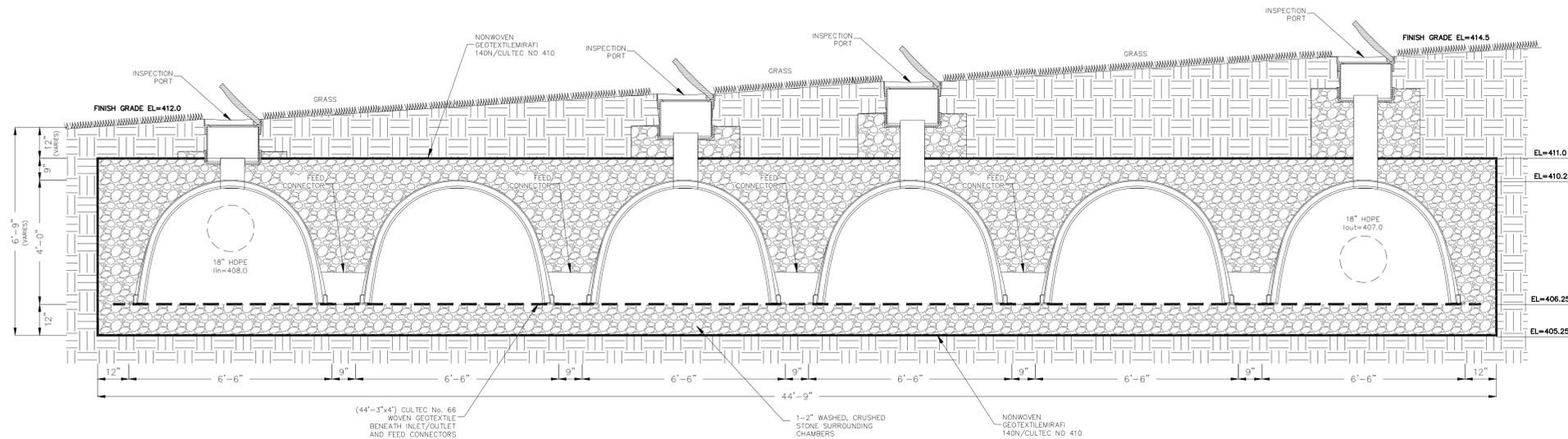


**P-CS DETAIL**  
 SCALE: 1/2"= 1'



ITEM	QTY	SIZE (in)	DESCRIPTION
1	1	48	I.D. PRECAST MANHOLE
2	1		INTERNAL COMPONENTS (PRE-INSTALLED)
3	1	30	FRAME AND COVER (ROUND)
4	1	24 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	24 (MAX)	INLET PIPE (BY OTHERS)

**PRE-TREATMENT SYSTEM (FIRST DEFENSE FD-4HC OR EQUAL ) DETAIL**  
 N.T.S.



**P-U/G INFILTRATION SYSTEM DETAIL**  
 SCALE: 1"=2'

REVISION	DATE	DESCRIPTION
4	11-26-24	REVISE PROJECT TITLE
3	7-22-24	PER DRAINAGE MITIGATION PLAN AND DETAIL
2	8-29-23	REV. BLDGS & PER TAC COMMENTS 8-9-23
1	6-9-23	REV. BLDGS & PER TAC COMMENTS 2-8-23

**AN&Z** ATZL, NASHER & ZIGLER P.C.  
 ENGINEERS - SURVEYORS - PLANNERS  
 232 North Main Street  
 New City, New York 10956  
 Tel: (845) 634-4894  
 Fax: (845) 634-5543  
 E-mail: info@anzny.com  
 Web: www.ANZNY.com

PROJECT: **SRI RANGANATHA TEMPLE (RELIGIOUS CORPORATION)**

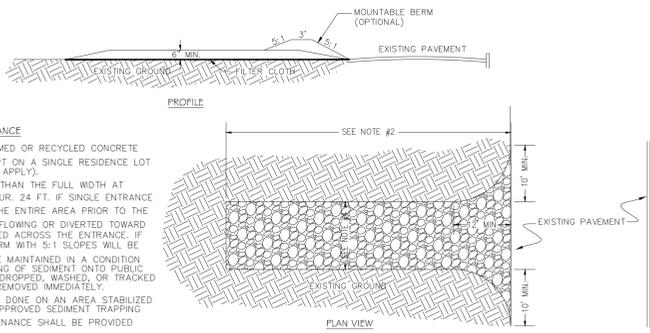
VILLAGE OF POMONA  
 ROCKLAND COUNTY, NEW YORK

TITLE: **DETAILS**

DRAWN BY: ED	CHECKED BY: JRA
DATE: JULY 22, 2024	SCALE: 1" IN. = 30 FT.
PROJECT NO: 1635	DRAWING NO: 4

STATE OF NEW YORK  
 JOHN R. ATZL  
 JOHN R. ATZL  
 N.Y.S. P.E. LIC. NO. 89066  
 N.Y.S. LIC. NO. 50228

P:\DRAWINGS\LESS THAN 11-26-24.DWG

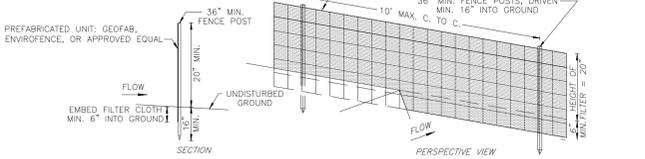


**CONSTRUCTION ENTRANCE DETAIL #1**  
N.T.S.

- SPECIFICATIONS FOR CONSTRUCTION ENTRANCE**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE
  - LENGTH - NOT LESS THAN 50 FT. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FT. MINIMUM LENGTH WOULD APPLY)
  - WIDTH - 12 FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT
  - POINTS WHERE INGRESS AND EGRESS OCCUR. 24 FT. IF SINGLE ENTRANCE
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE MAINTAINED - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED

**CONSTRUCTION NOTES FOR PRE-FABRICATED SILT FENCE**

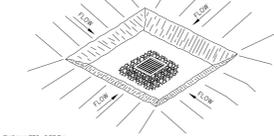
- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE



**SILT FENCE DETAIL #4**  
N.T.S.

**SPECIFICATIONS FOR STORM INLET PROTECTION**

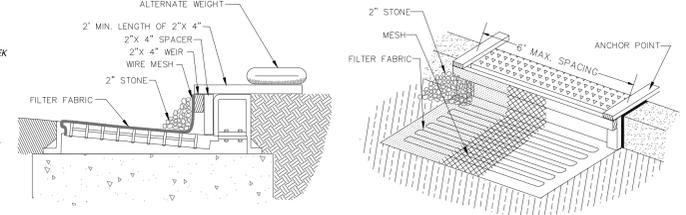
- SEDIMENT SHALL BE REMOVED AND THE TRAP RETURNED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE VOLUME OF SEDIMENT STORAGE SHALL BE 1800 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
- THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- ALL OUT SLOPES SHALL BE 1:1 OR FLATTER.



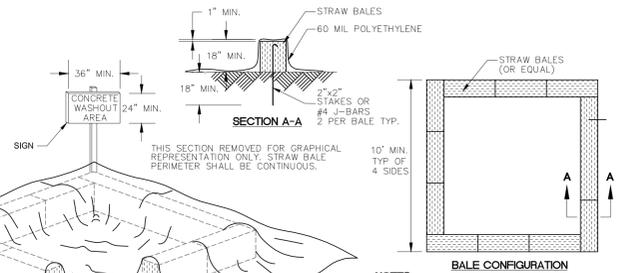
**STORM INLET PROTECTION DETAIL #3**  
N.T.S.

**SPECIFICATIONS FOR CURB INLET PROTECTION**

- FILTER FABRIC SHALL HAVE AN EDS OF 40-85.
- WOODEN FRAME SHALL BE CONSTRUCTED OF 2"x4" CONSTRUCTION GRADE LUMBER.
- WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30" MINIMUM WIDTH WITH A LENGTH 4" LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2"x4" WEIR.
- THE WEIR SHALL BE SECURELY NAILED TO 2"x4" SPACERS 9" LONG SPACED NO MORE THAN 6" APART.
- THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2"x4" ANCHORS 2" LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.



**CURB INLET PROTECTION DETAIL #2**  
N.T.S.

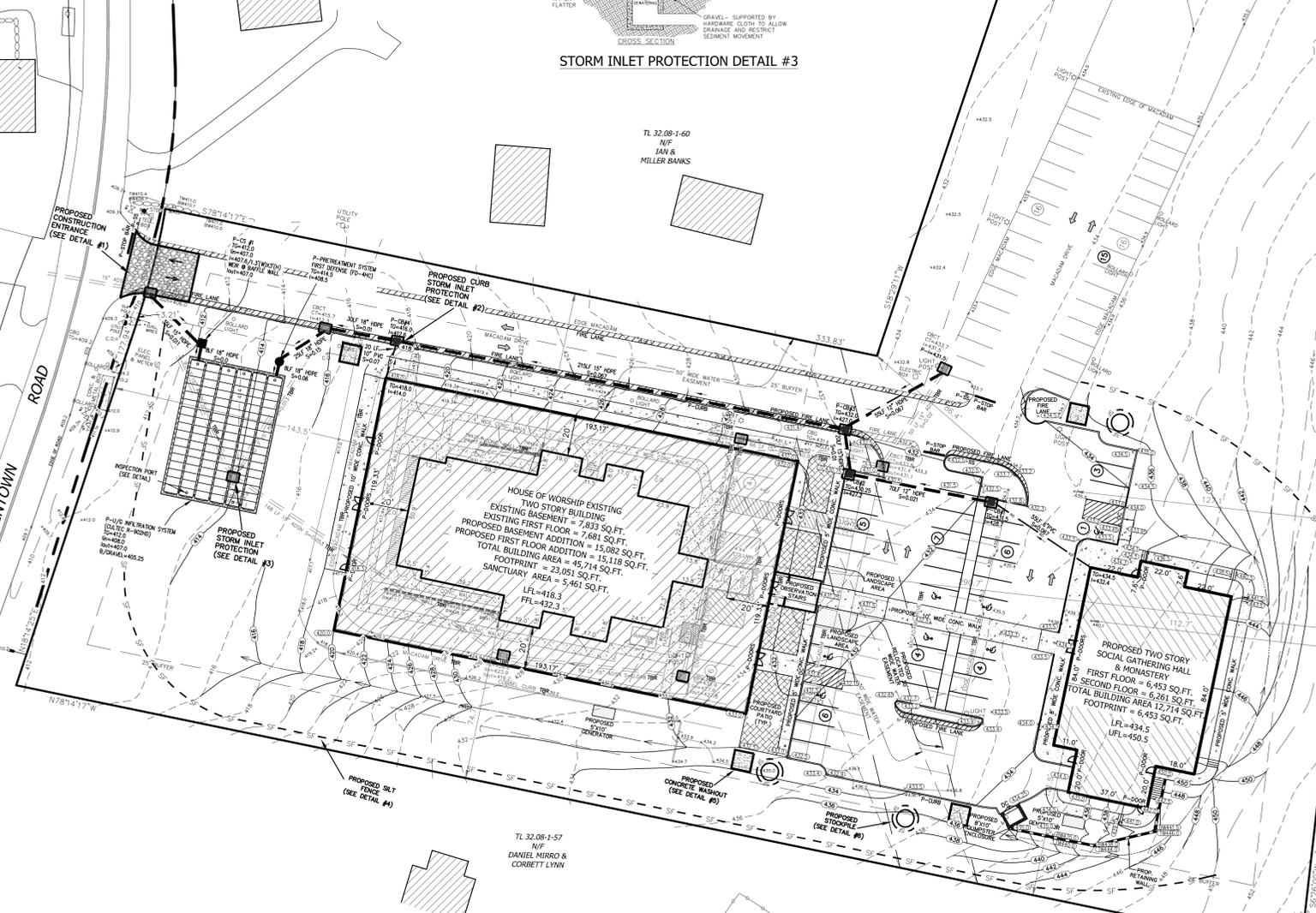


**CONCRETE WASHOUT DETAIL #5**  
N.T.S.

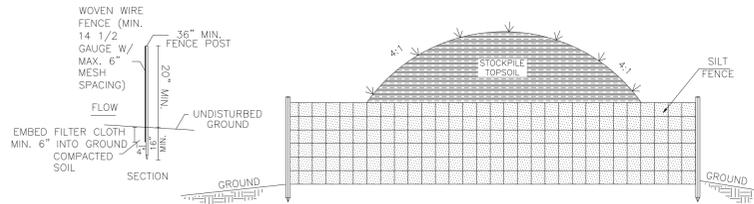
**NOTE:**  
IF THE CONTRACTOR CHOOSES NOT TO INSTALL THE CONSTRUCTION ENTRANCE, THE EXISTING ENTRANCE CAN BE USED TO ENTER AND EXIT THE CONSTRUCTION SITE. HOWEVER, THE EXISTING ENTRANCE SHALL BE SWEEPED AND VACUUM-CLEANED EVERY DAY BEFORE THE END OF THE CONSTRUCTION DAY.

**BALE CONFIGURATION**

- FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT



**STOCKPILE DETAIL #6**  
N.T.S.



REVISION	DATE	DESCRIPTION
4	11-26-24	REVISE PROJECT TITLE
3	7-22-24	PER DRAINAGE MITIGATION PLAN AND DETAIL
2	8-29-23	REV. BLDGS & PER TAC COMMENTS 8-9-23
1	6-9-23	REV. BLDGS & PER TAC COMMENTS 2-8-23

**ATZL, NASHER & ZIGLER P.C.**  
ENGINEERS-SURVEYORS-PLANNERS  
232 North Main Street  
New City, New York 10956  
Tel: (845) 634-4694  
Fax: (845) 634-5543  
E-mail: info@anzny.com  
Web: www.ANZNY.com

**PROJECT:**  
**SRI RANGANATHA TEMPLE (RELIGIOUS CORPORATION)**

**VILLAGE OF POMONA  
ROCKLAND COUNTY, NEW YORK**

**EROSION & SEDIMENT CONTROL PLAN**

DRAWN BY: ED	CHECKED BY: JRA
DATE: JULY 22, 2024	SCALE: 1 IN. = 30 FT.
PROJECT NO: 1635	DRAWING NO: 5

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP REMAINING A LICENSED LAND SURVEYOR'S PROPERTY. BEAR IN MIND THAT ANY ALTERATION TO A SURVEY MAP SHALL BE CONSIDERED A FALSE COPY.

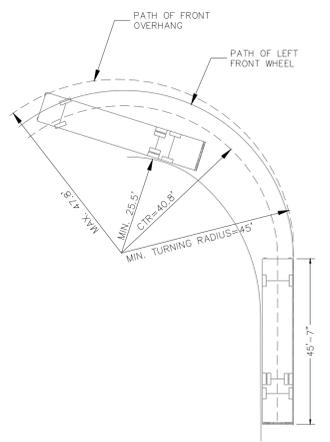
THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON FROM MAKING ANY STATEMENT OR REPRESENTATION CONCERNING THE QUALIFICATION OF ANY PROFESSIONAL ENGINEER OR SURVEYOR UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR SURVEYOR. ANY SUCH STATEMENT OR REPRESENTATION MADE BY ANY PERSON OTHER THAN A LICENSED PROFESSIONAL ENGINEER OR SURVEYOR SHALL BE CONSIDERED A VIOLATION OF THE EDUCATION LAW OF THE STATE OF NEW YORK.

**RYAN A. NASHER, P.E.**  
N.Y.S. P.E. LIC. NO. 89066

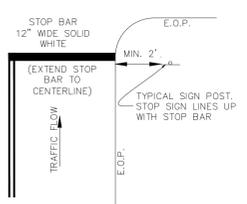
**JOHN R. ATZL**  
N.Y.S. S.L.C. NO. 80228

**LEGEND**

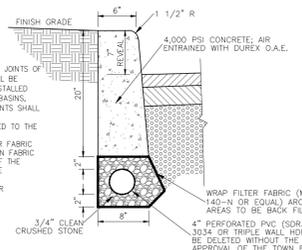
- 2' CONTOUR
- 10' CONTOUR
- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING GAS LINE
- EXISTING CATCH BASIN
- EXISTING STORM DRAIN LINE
- EXISTING SEWER MANHOLE
- EXISTING SEWER LINE
- EXISTING SPOT ELEVATION
- EXISTING STONEWALL
- EXISTING RAIL ROAD WALL
- EXISTING SIGN
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING UTILITY & LIGHT POLE
- TOP OF CURB
- DROP OF CURB
- TOP OF WALL
- BOTTOM OF WALL
- PROPOSED STOP SIGN
- PROPOSED STOP BAR



**FIRE TRUCK TURNING RADIUS DETAIL**  
SCALE: 1"=20'

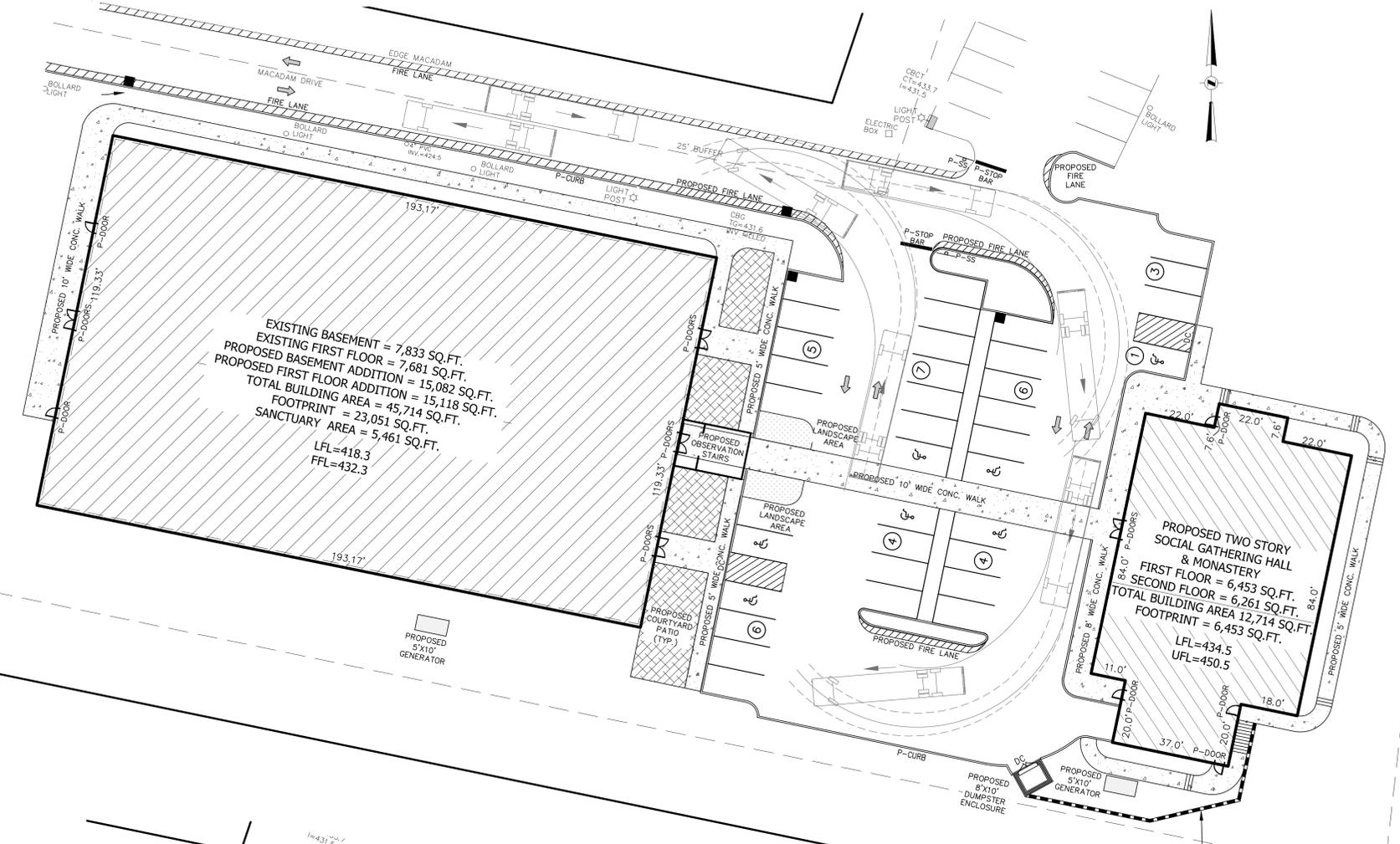


**STOP BAR DETAIL**  
N.T.S.

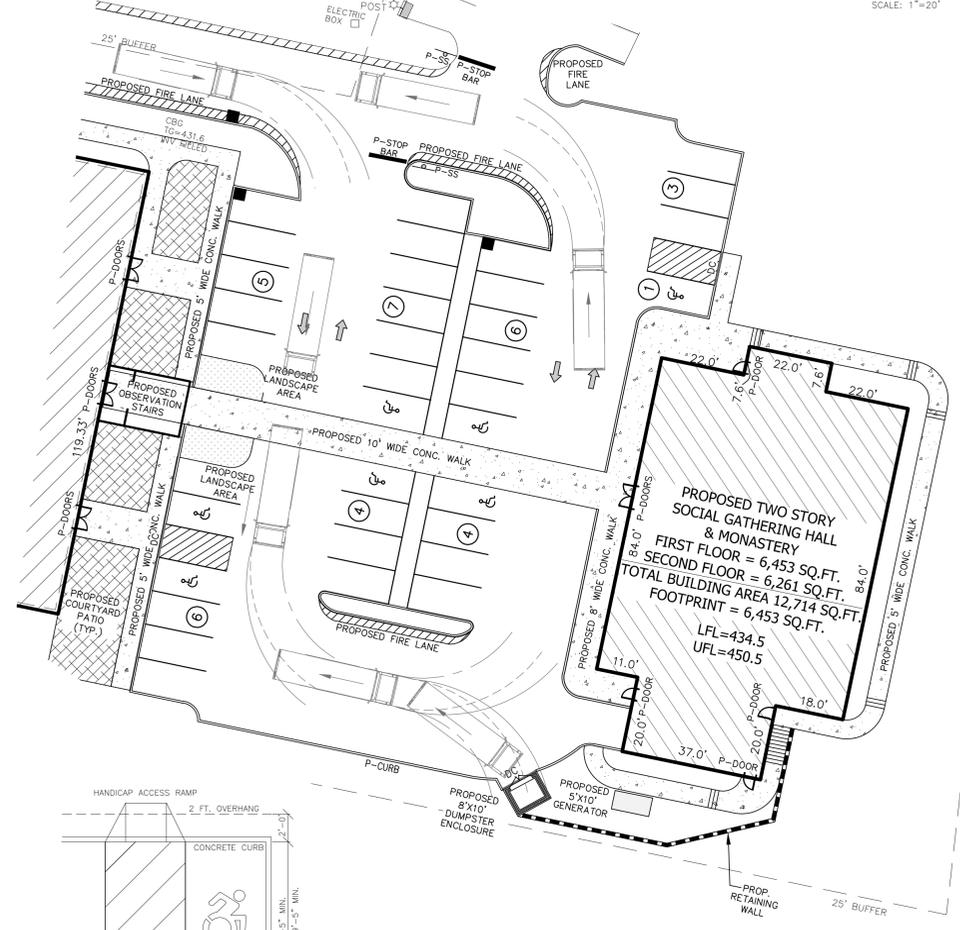


**CONCRETE CURB AND UNDERDRAIN DETAIL**  
N.T.S.

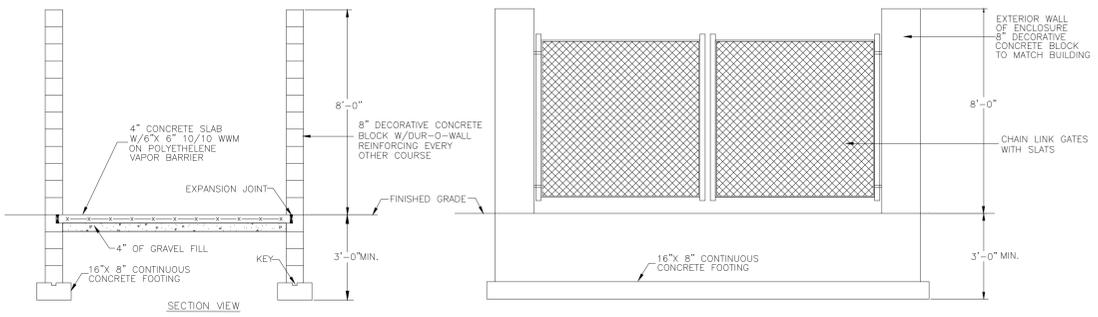
- NOTE:
- CURB SHALL BE CAST IN PLACE. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED @ 10' INTERVALS AND SHALL BE INSTALLED WHERE REQUIRED (AT CURB BOXES, CATCH BASINS, BRIDGES, ETC.) CONTRACTION (CONTROL) JOINTS SHALL BE INSTALLED @ 10' INTERVALS.
  - ALL UNDERDRAIN PIPES SHALL BE CONNECTED TO THE NEAREST CATCH BASIN.
  - IN LIEU OF THE SPECIFIED GEOTEXTILE FILTER FABRIC ENVELOPE, AN UNDERDRAIN PIPE WRAPPED IN FABRIC MAY BE SUBSTITUTED AT THE DISCRETION OF THE SUPERINTENDENT OF HIGHWAYS.
  - UNDERDRAIN BACKFILL DEPTH TO BE 10" FOR COMMERCIAL STREETS.



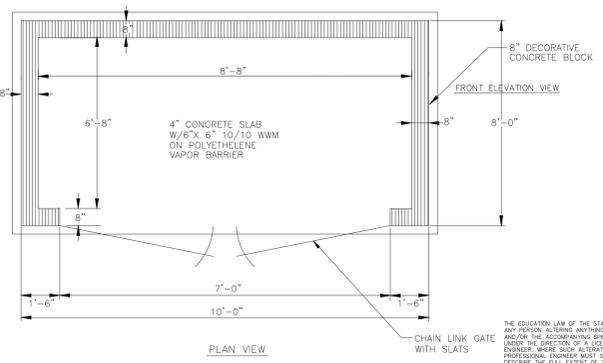
**FIRE TRUCK TURNING PLAN**  
SCALE: 1"=20'



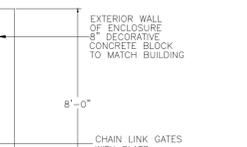
**GARBAGE TRUCK TURNING PLAN**  
SCALE: 1"=20'



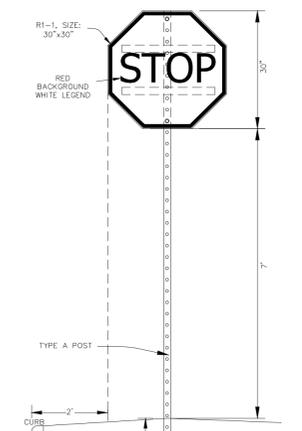
SECTION VIEW



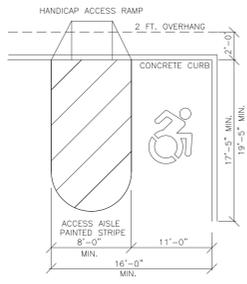
**REFUSE DUMPSTER ENCLOSURE DETAIL**  
N.T.S.



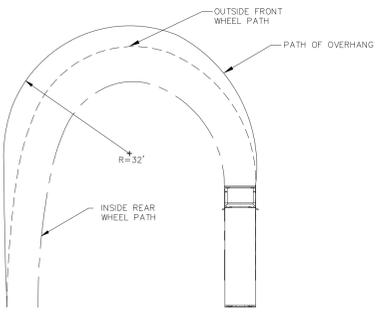
**FIRE LANE STRIPING DETAIL**  
N.T.S.



**STOP SIGN DETAIL**  
N.T.S.



**VAN ACCESSIBLE PARKING DETAIL**  
N.T.S.



**GARBAGE TRUCK TURNING RADIUS DETAIL**  
SCALE: 1"=20'

REVISION	DATE	DESCRIPTION
4	11-26-24	REVISE PROJECT TITLE
3	7-22-24	PER DRAINAGE MITIGATION PLAN AND DETAIL
2	8-29-23	REV. BLDGS & PER TAC COMMENTS 8-9-23
1	6-9-23	REV. BLDGS & PER TAC COMMENTS 2-8-23

**ATZL, NASHER & ZIGLER P.C.**  
ENGINEERS-SURVEYORS-PLANNERS  
232 North Main Street  
New City, New York 10956  
Tel: (845) 634-4694  
Fax: (845) 634-5543  
E-mail: info@anzny.com  
Web: www.ANZNY.com

PROJECT: **SRI RANGANATHA TEMPLE (RELIGIOUS CORPORATION)**  
**VILLAGE OF POMONA ROCKLAND COUNTY, NEW YORK**

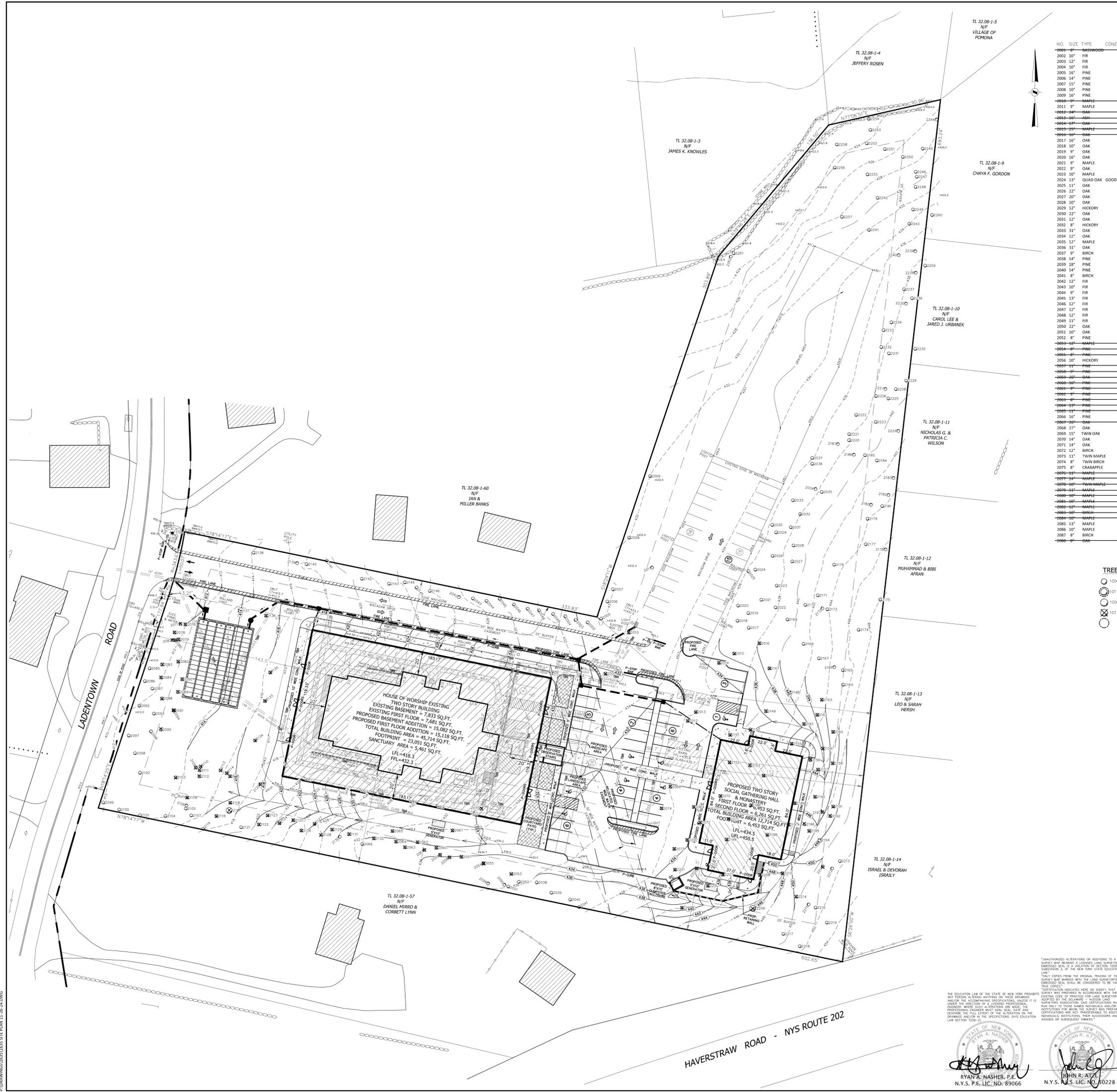
**FIRE TRUCK ACCESS PLAN**

DRAWN BY: ED  
DATE: JANUARY 19, 2023  
PROJECT NO: 1635

CHECKED BY: JRA  
SCALE: AS SHOWN  
DRAWING NO: 6



P:\DRAWINGS\LESS LESS SITE PLAN\11-26-24.DWG



### TREE LIST

NO.	SIZE	TYPE	CONDITION	NO.	SIZE	TYPE	CONDITION	NO.	SIZE	TYPE	CONDITION
2001	8"	BASSWOOD	GOOD	2069	8"	TWIN BIRCH	POOR	2177	12"	OAK	GOOD
2002	10"	FIR	GOOD	2070	10"	ASH	POOR	2178	17"	TWIN OAK	GOOD
2003	12"	FIR	GOOD	2071	10"	MAPLE	GOOD	2179	19"	OAK	GOOD
2004	10"	FIR	GOOD	2072	8"	MAPLE	GOOD	2180	17"	OAK	POOR
2005	16"	PINE	GOOD	2073	10"	MAPLE	GOOD	2181	10"	MAPLE	POOR
2006	14"	PINE	GOOD	2074	10"	MAPLE	GOOD	2182	10"	MAPLE	GOOD
2007	15"	PINE	GOOD	2075	14"	MAPLE	GOOD	2183	12"	MAPLE	GOOD
2008	10"	PINE	GOOD	2076	9"	MAPLE	GOOD	2184	9"	MAPLE	GOOD
2009	16"	PINE	GOOD	2077	12"	MAPLE	GOOD	2185	11"	OAK	GOOD
2010	9"	MAPLE	GOOD	2078	16"	MAPLE	POOR	2186	16"	OAK	GOOD
2011	9"	MAPLE	GOOD	2079	15"	PINE	GOOD	2187	8"	BIRCH	POOR
2012	24"	OAK	GOOD	2100	15"	PINE	GOOD	2190	23"	OAK	GOOD
2013	16"	OAK	GOOD	2101	15"	PINE	GOOD	2191	18"	OAK	GOOD
2014	19"	OAK	GOOD	2102	8"	MAPLE	GOOD	2192	8"	OAK	GOOD
2015	25"	MAPLE	GOOD	2103	12"	MAPLE	GOOD	2193	11"	TWIN BIRCH	GOOD
2016	16"	OAK	GOOD	2104	11"	PINE	GOOD	2194	11"	TWIN BIRCH	GOOD
2017	16"	OAK	GOOD	2105	12"	ASH	POOR	2195	14"	OAK	GOOD
2018	10"	OAK	GOOD	2106	10"	BIRCH	POOR	2196	18"	OAK	GOOD
2019	9"	OAK	GOOD	2107	8"	PINE	GOOD	2197	12"	OAK	GOOD
2020	16"	OAK	POOR	2108	10"	ASH	POOR	2198	12"	BIRCH	GOOD
2021	9"	MAPLE	GOOD	2109	10"	ASH	GOOD	2199	12"	BIRCH	GOOD
2022	9"	OAK	GOOD	2110	14"	MAPLE	GOOD	2200	20"	OAK	GOOD
2023	10"	MAPLE	GOOD	2111	10"	MAPLE	GOOD	2201	13"	TWIN OAK	GOOD
2024	13"	QUAD OAK	GOOD	2112	10"	MAPLE	GOOD	2202	13"	TWIN OAK	GOOD
2025	11"	OAK	GOOD	2113	10"	MAPLE	GOOD	2203	11"	OAK	POOR
2026	22"	OAK	GOOD	2114	10"	MAPLE	GOOD	2204	11"	ASH	GOOD
2027	20"	OAK	GOOD	2115	10"	MAPLE	GOOD	2205	10"	MAPLE	GOOD
2028	10"	OAK	GOOD	2116	14"	PINE	GOOD	2206	14"	PINE	GOOD
2029	12"	HICKORY	GOOD	2117	16"	PINE	GOOD	2207	14"	PINE	GOOD
2030	22"	OAK	POOR	2118	16"	PINE	GOOD	2208	15"	OAK	GOOD
2031	12"	OAK	GOOD	2119	22"	QUAD ASH	POOR	2209	16"	OAK	GOOD
2032	8"	HICKORY	GOOD	2120	18"	TWIN ASH	GOOD	2210	15"	OAK	GOOD
2033	31"	OAK	GOOD	2121	18"	TWIN ASH	GOOD	2211	15"	OAK	GOOD
2034	12"	OAK	GOOD	2122	18"	PINE	GOOD	2212	8"	MAPLE	GOOD
2035	12"	MAPLE	GOOD	2123	10"	PINE	GOOD	2213	9"	MAPLE	GOOD
2036	31"	OAK	GOOD	2124	10"	PINE	GOOD	2214	10"	MAPLE	GOOD
2037	9"	BIRCH	GOOD	2125	10"	PINE	GOOD	2215	15"	OAK	GOOD
2038	14"	PINE	GOOD	2126	10"	PINE	GOOD	2216	15"	OAK	GOOD
2039	18"	PINE	POOR	2127	10"	PINE	GOOD	2217	12"	OAK	GOOD
2040	14"	PINE	GOOD	2128	10"	PINE	GOOD	2218	12"	OAK	GOOD
2041	8"	BIRCH	GOOD	2129	10"	PINE	GOOD	2219	13"	BIRCH	GOOD
2042	12"	FIR	GOOD	2130	12"	PINE	GOOD	2220	8"	BIRCH	GOOD
2043	10"	FIR	GOOD	2131	10"	PINE	GOOD	2221	13"	BIRCH	GOOD
2044	9"	FIR	GOOD	2132	10"	PINE	GOOD	2222	8"	BIRCH	GOOD
2045	13"	FIR	GOOD	2133	8"	BASSWOOD	GOOD	2223	8"	BIRCH	GOOD
2046	12"	FIR	GOOD	2134	8"	BASSWOOD	GOOD	2224	8"	BIRCH	GOOD
2047	12"	FIR	GOOD	2135	8"	BASSWOOD	GOOD	2225	8"	BIRCH	GOOD
2048	12"	FIR	GOOD	2136	8"	BASSWOOD	GOOD	2226	8"	BIRCH	GOOD
2049	11"	FIR	GOOD	2137	8"	BASSWOOD	GOOD	2227	8"	BIRCH	GOOD
2050	22"	OAK	GOOD	2138	8"	FIR	GOOD	2228	15"	OAK	GOOD
2051	10"	OAK	GOOD	2139	12"	LOCUST	GOOD	2229	8"	BIRCH	GOOD
2052	8"	PINE	GOOD	2140	18"	LOCUST	GOOD	2230	8"	BIRCH	GOOD
2053	12"	MAPLE	GOOD	2141	26"	FIR	GOOD	2231	10"	ASH	POOR
2054	8"	PINE	GOOD	2142	10"	FIR	GOOD	2232	10"	HICKORY	GOOD
2055	8"	PINE	GOOD	2143	11"	FIR	GOOD	2233	15"	OAK	GOOD
2056	10"	HICKORY	GOOD	2144	12"	FIR	GOOD	2234	16"	OAK	GOOD
2057	11"	PINE	GOOD	2145	10"	FIR	GOOD	2235	15"	OAK	GOOD
2058	9"	PINE	GOOD	2146	11"	FIR	GOOD	2236	14"	BIRCH	POOR
2059	20"	OAK	GOOD	2147	14"	TWIN MAPLE	GOOD	2237	16"	OAK	GOOD
2060	10"	PINE	GOOD	2148	16"	MAPLE	GOOD	2238	10"	BIRCH	GOOD
2061	9"	PINE	POOR	2149	10"	MAPLE	GOOD	2239	11"	BIRCH	GOOD
2062	9"	PINE	POOR	2150	10"	MAPLE	GOOD	2240	10"	OAK	GOOD
2063	8"	PINE	GOOD	2151	21"	TWIN OAK	GOOD	2241	20"	TWIN OAK	GOOD
2064	13"	PINE	GOOD	2152	16"	MAPLE	GOOD	2242	18"	OAK	GOOD
2065	21"	PINE	GOOD	2153	14"	ASH	GOOD	2243	10"	BIRCH	GOOD
2066	16"	PINE	GOOD	2154	12"	MAPLE	GOOD	2244	10"	TWIN MAPLE	GOOD
2067	26"	OAK	GOOD	2155	10"	MAPLE	GOOD	2245	12"	BIRCH	GOOD
2068	27"	OAK	GOOD	2156	10"	MAPLE	GOOD	2246	12"	BIRCH	GOOD
2069	15"	TWIN OAK	GOOD	2157	10"	MAPLE	GOOD	2247	8"	BIRCH	GOOD
2070	14"	OAK	GOOD	2158	10"	MAPLE	GOOD	2248	8"	BIRCH	GOOD
2071	14"	OAK	GOOD	2159	10"	MAPLE	GOOD	2249	9"	BIRCH	GOOD
2072	12"	BIRCH	GOOD	2160	10"	MAPLE	GOOD	2250	12"	OAK	GOOD
2073	11"	TWIN MAPLE	GOOD	2161	8"	MAPLE	GOOD	2251	10"	OAK	GOOD
2074	8"	TWIN BIRCH	GOOD	2162	8"	MAPLE	GOOD	2252	10"	OAK	GOOD
2075	8"	CRAPEAPPLE	GOOD	2163	8"	MAPLE	GOOD	2253	10"	OAK	GOOD
2076	11"	MAPLE	GOOD	2164	8"	MAPLE	GOOD	2254	9"	MAPLE	GOOD
2077	14"	ROSE	GOOD	2165	14"	OAK	GOOD	2255	10"	OAK	GOOD
2078	10"	TWIN MAPLE	GOOD	2166	8"	OAK	GOOD	2256	11"	OAK	GOOD
2079	10"	TWIN MAPLE	GOOD	2167	14"	MAPLE	POOR	2257	17"	TWIN MAPLE	GOOD
2080	10"	MAPLE	GOOD	2168	14"	MAPLE	GOOD	2258	8"	MAPLE	GOOD
2081	10"	MAPLE	GOOD	2169	14"	MAPLE	GOOD	2259	12"	BIRCH	GOOD
2082	10"	MAPLE	GOOD	2170	14"	MAPLE	GOOD	2260	12"	BIRCH	GOOD
2083	10"	MAPLE	GOOD	2171	14"	MAPLE	GOOD	2261	12"	TWIN MAPLE	GOOD
2084	10"	MAPLE	GOOD	2172	14"	MAPLE	GOOD	2262	12"	MAPLE	GOOD
2085	13"	MAPLE	GOOD	2173	10"	OAK	POOR	2174	24"	OAK	GOOD
2086	10"	MAPLE	POOR	2174	24"	OAK	GOOD				
2087	8"	BIRCH	POOR								
2088	8"	OAK	GOOD								

### TREE LEGEND

- 100 - DENOTES EXISTING TREE TO REMAIN
- 101 - DENOTES EXISTING TREE TO REMAIN WITH TREE PROTECTION FENCE
- 102 - DENOTES EXISTING TREE POSSIBLE TO REMAIN
- ⊗ 101 - DENOTES EXISTING TREE TO BE REMOVED
- - DENOTES TREE PROTECTION FENCE

### LEGEND

- - - - - EXISTING 2' CONTOUR
- - - - - EXISTING 10' CONTOUR
- - - - - EXISTING WATERLINE
- - - - - EXISTING FIRE HYDRANT
- - - - - EXISTING GAS LINE
- - - - - EXISTING CATCH BASIN
- - - - - EXISTING STORM DRAIN LINE
- SMH - EXISTING SEWER MANHOLE
- S - S - EXISTING SEWER LINE
- + M6.0 - EXISTING SPOT ELEVATION
- - EXISTING STONEWALL
- - - - - EXISTING RAIL ROAD TIE WALL
- - EXISTING SIGN
- - EXISTING LIGHT POLE
- - EXISTING UTILITY POLE
- - EXISTING UTILITY & LIGHT POLE
- TC - TOP OF CURB
- TW - TOP OF WALL
- DC - DROP OF CURB
- BW - BOTTOM OF WALL

REVISION	DATE	DESCRIPTION
4	11-26-24	REVISE PROJECT TITLE
3	7-22-24	PER DRAINAGE MITIGATION PLAN AND DETAIL
2	8-29-23	REV. BLDGS & PER TAC COMMENTS 8-9-23
1	6-9-23	REV. BLDGS & PER TAC COMMENTS 2-8-23

**ATZL, NASHER & ZIGLER P.C.**  
ENGINEERS-SURVEYORS-PLANNERS

232 North Main Street  
New City, New York 10956  
Tel: (845) 634-4694  
Fax: (845) 634-5543  
E-mail: info@anzny.com  
Web: www.ANZNY.com

**PROJECT:**  
**SRI RANGANATHA TEMPLE**  
**(RELIGIOUS CORPORATION)**

**VILLAGE OF POMONA**  
**ROCKLAND COUNTY, NEW YORK**

### TREE PLAN

DRAWN BY: ED      CHECKED BY: JRA  
DATE: JULY 22, 2024      SCALE: 1 IN. = 30 FT.  
PROJECT NO:      DRAWING NO:

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.

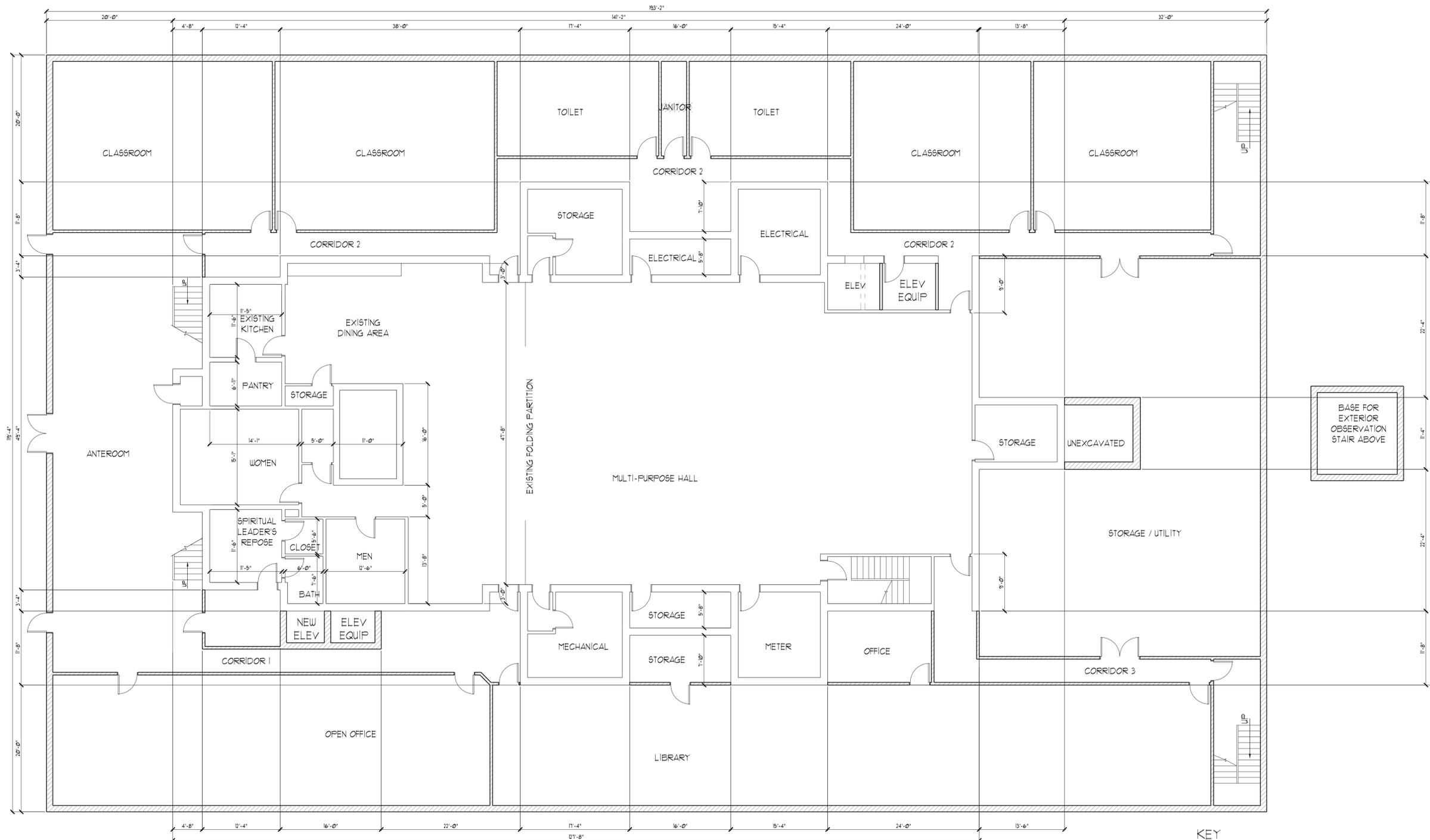
THIS COPY IS FROM THE ORIGINAL. MAKING OF THIS SURVEY MAP AND/OR USING THE SAME FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR IS PROHIBITED.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON FROM MAKING OR CAUSING TO BE MADE ANY ALTERATION OR ADDITION TO A SURVEY MAP OR PLAN, OR ANY PART THEREOF, WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR. ANY SUCH ALTERATION OR ADDITION IS PROHIBITED AND IS A VIOLATION OF SECTION 209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.

RYAN A. NASHER, P.E.  
 N.Y.S. P.E. LIC. NO. 89066

JOHN R. ATZL  
 N.Y.S. P.E. LIC. NO. 80228

All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written permission of Degenstein Architects. Any modifications or alterations to this document without the written permission of Degenstein Architects shall render them invalid and unusable.



EXISTING FLOOR AREA = 7833#  
PROPOSED ADDITION = 15082#  
PROPOSED TOTAL = 22,915#

**KEY**  
 ——— EXISTING PARTITION  
 ——— PROPOSED PARTITION

**1** PROPOSED BASEMENT FLOOR PLAN  
SCALE: 1/8" = 1'-0"



NO.	DATE	DESCRIPTION

PROJECT TITLE:  
 PROPOSED ADDITION FOR:  
 Sri Ranganatha  
 Hindu Temple  
 8 Ladentown Road  
 Pomona, New York 10970

DRAWING TITLE:  
 SCHEMATIC PROPOSED  
 BASEMENT FLOOR PLAN

DRAWN BY: IL	PROJECT NO.:	2208
CHECKED BY: JD		

SEAL:	DRAWING NO.:
-------	--------------

A-300

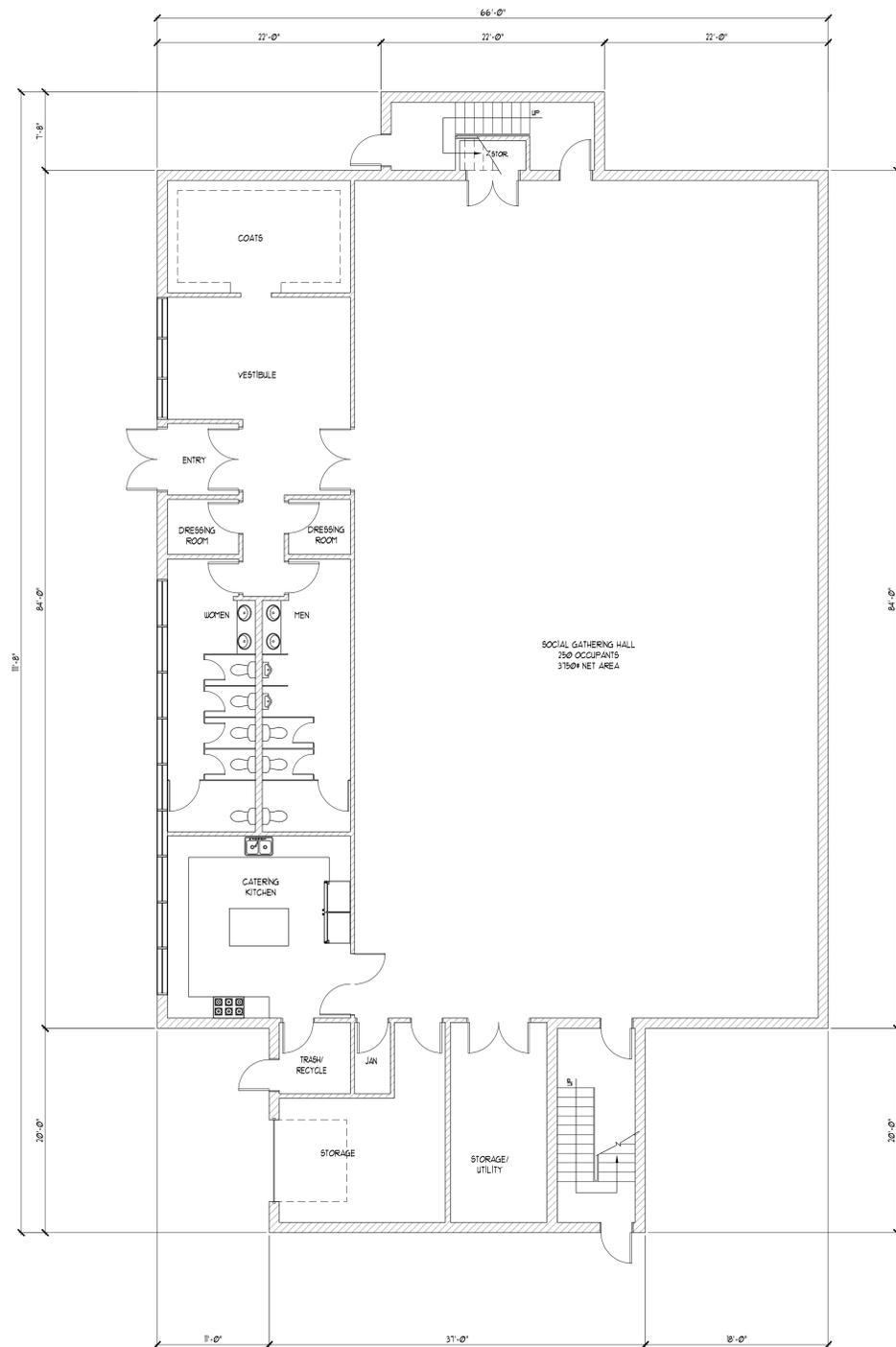
TAC SUBMISSION  
 9/11/24  
 NOT FOR CONSTRUCTION



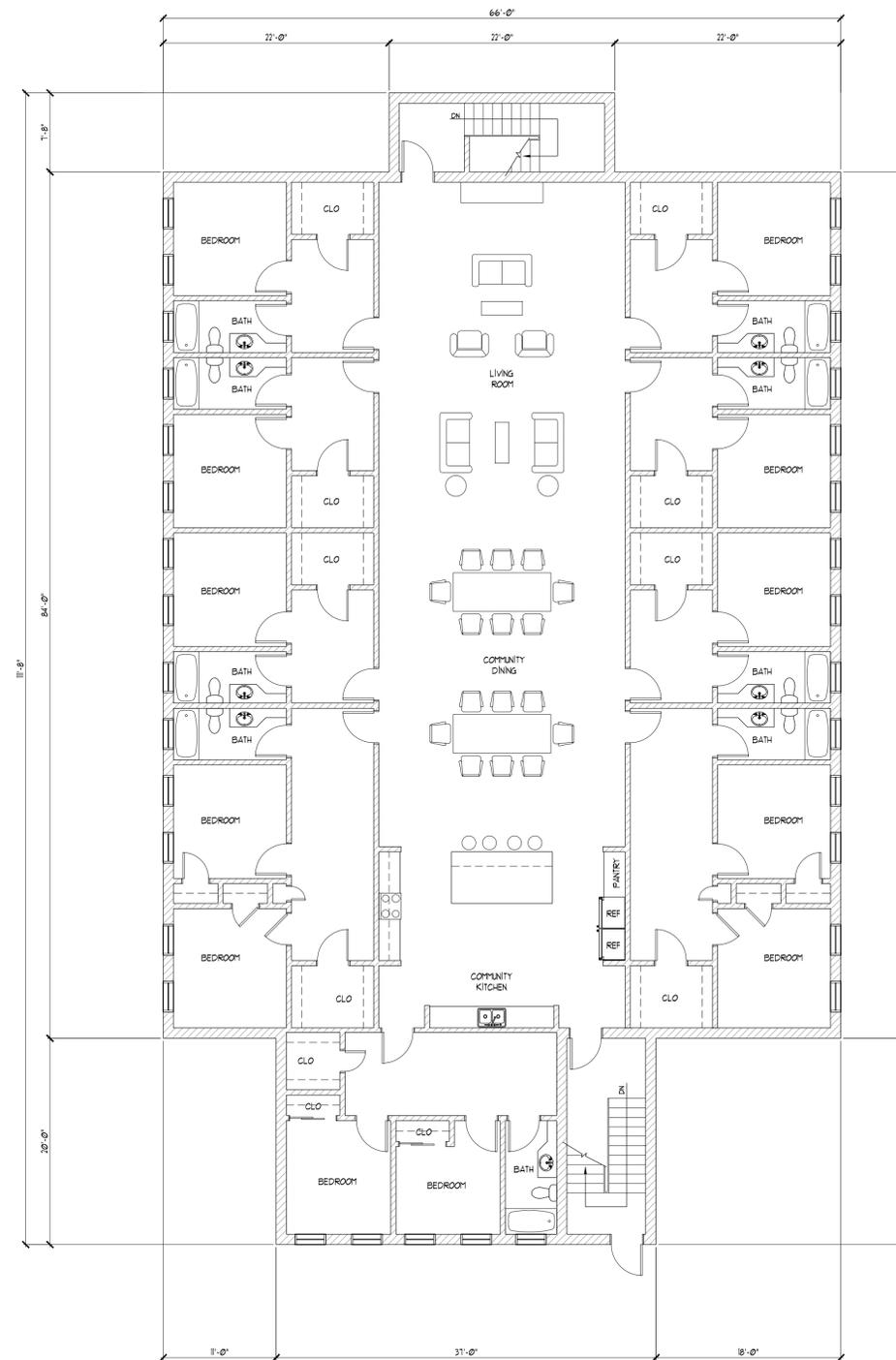


All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written permission of Degenstein Architects. Any modifications or alterations to this document without the written permission of Degenstein Architects shall render them invalid and unusable.

TAC SUBMISSION  
9/11/24  
NOT FOR CONSTRUCTION



1 LOWER FLOOR PLAN  
SCALE: 1/8" = 1'-0" 6453\*



NOTE:  
THE MONASTERY NOT TO EXCEED 16  
OCCUPANTS.  
THE MONASTERY IS AN ACCESSORY  
USE TO THE HINDU TEMPLE

2 UPPER FLOOR PLAN  
SCALE: 1/8" = 1'-0" 6261\*

NO.	DATE	DESCRIPTION

PROJECT TITLE:  
PROPOSED SOCIAL HALL FOR:  
Sri Ranganatha  
Hindu Temple  
8 Ladentown Road  
Pomona, New York 10970

DRAWING TITLE:  
SCHEMATIC PROPOSED  
LOWER & UPPER  
FLOOR PLANS

DRAWN BY: IL	PROJECT NO. 2208
CHECKED BY: JD	

SEAL:	DRAWING NO. SK-1B
-------	-------------------





# ATZL, NASHER & ZIGLER P.C.

ENGINEERS - SURVEYORS - PLANNERS

Web: [www.anzny.com](http://www.anzny.com)

Revised November 26, 2024

July 22, 2024

September 5, 2023

June 9, 2023

January 23, 2023

## **Sri Ranganatha Temple (Religious Corporation)**

### **Narrative Summary**

#### **Project Location**

This site is identified on the Village of Pomona Tax Map as Section 32.08 Block 1 Lot 59 and is zoned R-40. It is located at 8 Ladentown Road, with access to the site off Ladentown Road.

#### **Existing Conditions**

The existing site is approximately 4.7 acres, and there is a two-story (existing basement floor is 7,833 sq. ft. and existing first floor is 7,681 sq. ft.) community house of worship known as Sri Ranganatha Temple (which is a religious corporation) along with 87 parking spaces onsite, concrete walkway, and a barn.

Currently the temple consists of a prayer area on the first floor. The basement floor consists of two small classrooms, utility room, electrical room, and storage room along with kitchen and dining space, and a single room for the guru, who is a renunciated Hindu sanyasi, similar to a monk.

#### **Need for Proposed Expansions**

In the Hindu religious practice, it is customary for devotees to walk around the temple while praying, often barefoot. On special holidays, as noted in Table 3 (dates vary every year as the Applicant follows the lunar calendar), a procession should ideally start and continue in the

streets of the Village. However, in order not to disturb the neighbors and residents, the temple restricted the procession to go only around the temple. Currently these processions take place twice a year - during the anniversary of the temple called *Brahmotsavam* (June - July) six (6) times on foot and one time on a chariot, and on *Vaikuntha Ekadashi* (December – January) one time on foot. Additionally, the temple is required to conduct an additional sixteen (16) processions on various days of religious significance in a year. These are currently taking place inside the prayer hall. Several of these processions fall during fall and winter months making it difficult to conduct around the temple due to the weather conditions. This expansion will allow the temple to organize all the processions on various occasions of religious significance. Without the expansion, specifically the proposed enclosed corridor around the temple, hinders the temple’s ability to organize these religiously significant processions, thereby limiting the devotee participation and the temple’s long-term progress.

On the special occasion of *Vaikunta Ekadashi*, per Hindu religious practice, priests must be barefoot and dressed scantily in *veshtis*. They carry the idol of God on their shoulder and walk around the temple (see photos below). Devotees are barefoot as well, and follow the priests in procession. It is challenging for priests and devotees to carry out these processions, especially during winter months without an enclosed space offering respite from the weather outdoors, particularly cold wind and snow. If the proposed expansion is approved, the processions will be held entirely within the expanded temple enclosure. There will be no disturbance to the general public or neighbors.



### **Proposed Action**

The Applicant proposes to expand the temple to provide an enclosed corridor for processions on the first floor. This procession enclosure will result in a 15,118 sq. ft. addition to the first floor. The sanctuary is 5,461 sq ft. Note that the sanctuary area calculation excludes the areas of the icon rooms (shrines), circulation space, and support space. The Applicant also proposes to add approximately four additional classrooms and four storage rooms, two restrooms, two rooms for shoes and coats, two elevators, library and offices on the basement level. This will result in a 15,082 sq. ft. addition to the basement floor, bringing the total building area to 45,714 sq. ft. However, the entire first floor consisting of 15,118 square feet will only be an enclosed corridor space for the processions. Further, the Applicant is not requesting any expansion of the sanctuary/prayer hall areas.

Additionally, the Applicant also wishes to construct a two-story building on site. The lower floor of the proposed new building will serve as an accessory use of a social gathering hall for the congregation. The upper floor of the proposed new building will serve as the accessory use of a monastery to house unrelated non-transient priests who serve the congregation and in some instances their spouses. There will be no more than 16 resident occupants in the monastery. The proposed building has a total building area of 12,714 sq. ft.

The proposed expansions and structures will meet all State requirements for a place of public assembly, including Fire Prevention and Building Code.

Also note: a reduction in off-site traffic is expected due to the on-site proximity of the social gathering hall to the Temple, which will eliminate the need for a mass exodus of cars from the site after a ceremony to attend a social gathering off-site. There are 67 parking spaces proposed.

This application requires Special Permit Approval from the Village of Pomona Board of Trustees along with some variances.

**Required Variances**

The requested variances are outlined below:

<i>Variance</i>	<i>Required/ Permitted</i>	<i>Existing</i>	<i>Proposed</i>
Max. Building Coverage	10%	4.2%	14.2%
Maximum Lot Coverage	25%	26%	34.5%

**Temple Attendance**

Temple visitors and memberships are not anticipated to increase significantly. In the last few years, there was no increase in temple membership. The proposed expansions aim to address the needs of the temple priests and members, and cater to the demand of existing temple devotees and their families. Since the temple will be expanding in area due to the proposed additions, the Applicant is providing more parking as per Village code.

Attendees are expected to arrive throughout the day during the temple hours of operation (not at any specific hour or time frame). For weekdays the projected temple attendance is 10-50, and for weekends and public holidays the projected temple attendance is 50-100. Tables 1 and 2 provide information on temple hours of operation and daily *pooja*/prayer schedule.

During most processions, approx. 15-50 attendees are expected to arrive at the premises. For *Vaikunta Ekadashi*, the projected temple attendance is 50-100 and for *Brahmotsavam*, the projected temple attendance is 100-150. For other days of cultural significance, approximately 75-100 attendees are expected to arrive on the premises. Refer to Tables 3 and 4 for more information on these events.

### **Temple Use: Classroom Activities**

Currently, there is one religious class held on Saturday for children. This class is held anytime between 10:00 AM-5:00 PM (typically between 11:00 AM - 2:00 PM), and the session lasts for 1-2 hours.

The proposed classrooms will be used for music lessons and religious instructions for children. There will be 2-3 additional classes on the weekend and approximately 10 children will attend each class. Classes may take place on some holidays as well.

### **Temple Use: Indoor Activities**

All the above described activities shall be conducted indoors within the expanded temple area. Currently the Applicant could not offer some of these services due to weather restrictions, and lack of space. This restricts the Applicant's ability as well as temple patron's ability, to practice religious customs and ceremonies and exercise their religious freedoms.

Musical instruments like clarinets, flutes and percussion drums are played during the annual *Brahmotsavam* procession. This will be restricted to the proposed indoor processions once the expansion is approved.

The statements and numbers described in this document are estimates, but they should provide you with an understanding of the operation and the intended use of this facility.

We wish to thank you for your time and consideration.

<b>Table 1. Temple Hours of Operation</b>		
<b>Days</b>	<b>Times</b>	<b>Projected Attendance</b>
Monday-Thursday	8:00 AM to 12:00 Noon 4:00 PM to 8:00 PM	10-50
Friday	8:00 AM to 12:00 Noon 4:00 PM to 8:00 PM	10-50
Saturday, Sunday & Public Holidays	8:00 AM to 8:00 PM	50-100
Information taken from the Sri Ranganatha Temple website: <a href="http://www.ranganatha.org/timing-location">http://www.ranganatha.org/timing-location</a> Note: Not all 10-50 attendees visit the temple at once. Attendees are welcome to visit the premises between these times.		

<b>Table 2. Typical Daily Pooja Schedule</b>	
<b>Timing</b>	<b>Pooja Details</b>
8:00 AM	Morning <i>Aarti</i> Schedule
8:00 AM	<i>Viswaroopa Seva (Thirupalliezuchi , Suprabhata Seva at all Sannithis)</i>
8:30 AM	<i>Abhigamana Aradhana (Prabhandha/Veda parayanam and Ashtottara nama Archana)</i>
10:00 AM	<i>Thirumanjanam (as per Monthly Thirunakshathra schedule)</i>
7:00 PM	<i>Saayam Aradhana (Vishnu Sahasranama &amp; Mahalakshmi Sahasranama Archana)</i>
<b>Additional Special Pooja - Friday</b>	
8:00 PM	<i>Sri Mahalakshmi Pooja (chanting of Ashtottara Shata-Nama-Strotram 11 times)</i>
<b>Alternate and/or Additional Special Pooja - Saturday</b>	

8:00 AM	<i>Suprabhata Seva &amp; Darshan</i>
9:00 AM	Chanting of <i>Sri Desika slogams</i> and prayers to <i>Sri Hayagriva, Sri Ranganatha, Sri Lakshmi Narasimha, Sri Rama, Sri Krishna, Sri Venkateswara, Sri Mahalakshmi, Sri Andal, Sri Sudarsana and Sri Garuda</i>

\* Information taken from the Sri Ranganatha Temple website:

[http://www.ranganatha.org/events/daily\\_pooja\\_schedule](http://www.ranganatha.org/events/daily_pooja_schedule)

**Table 3. Proposed Annual Procession Schedule**

Event Details	Event Occurrence	Times	Projected Attendance
<i>Vaikunta Ekadashi*</i>	Mid-December and Mid-January	Timings vary; typically, between 10AM and 7 PM	50-100
<i>Brahmotsavam*</i>	June-July		100-150
<i>Sri Godha Devi &amp; Sri-Ranganatha Uthsavar Nava Kalasa Snapanam</i>	January		Varies; approx. 15-50
<i>Rathasaptam</i>	February/March		
<i>Sri Ranganatha Birthday</i>	March		
<i>Sri Aandaal Thiru Nakshatram (Aadi-Puuram)</i>	July/August		
<i>Sri Jayanthi Bhagavan Sri Krishna Incarnation</i>	August/September		
<i>Sri Mahalakshmi Navaratri Celebrations</i>	September/October		
<i>Karthik Pournami Satya-Narayana Pooja</i>	October/November		
<i>Deepavali &amp; Sri Dhanalakshmi Pooja</i>	October/November		
<i>Annakuuta Utsav</i>	October- November		
<i>Hanuman Jayanthi</i>	November-December		
<i>Dhanurmaasa Pooja</i>	December		

\*Currently, only 8 out of 24 processions are being held outside the temple, depicting limited religious practices and temple operations. The Temple would ideally like to have processions on all days of religious importance. The proposed expansion will allow all the above proposed procession schedule.

**Table 4. Other Days of Cultural Significance - Schedule**

<b>Event Details</b>	<b>Event Occurrence</b>	<b>Times</b>	<b>Projected Attendance</b>
New Year's Day	January	Timings vary; typically, between 10AM and 7 PM	75-100
<i>Aaalvar Thirunaksharram</i> Days	April		
<i>Satyanarayan Pooja</i>	May		
<i>Navaratri</i> Days	September		



**NARRATIVE**

**Sri Ranganatha Temple Addition and new Social Gathering Hall**

August 28, 2023

Although it is not anticipated that the congregation will grow, Sri Ranganatha Hindu Temple wishes to enhance the services it offers its religious congregation. As such, it plans to enlarge the existing temple building and to construct a new building to house functions accessory to the primary use of community prayer. These functions are intended to serve the present needs of the existing congregation. The temple building will be widened approximately twenty feet on each side to create a weather-protected ring in which a large chariot will be drawn in a celebration of the Vaikunta Ekadashi procession.

The lower level addition will contain classrooms for religious education, offices for the temple's administrative needs, a library to serve the Sunday religious school program as well as archives of Hindu Scripture. The balance of the additional basement space will serve storage needs.

The function of the lower level of the proposed new building will be as a festive social gathering hall for congregants to celebrate the culmination of certain religious ceremonies such as marriage and holy day events. The hall will accommodate no more than 250 participants seated at tables.

This function will actually eliminate potential traffic congestion since celebrations can occur without off-site automobile migration.

The second level of the proposed new building will house another use accessory to the temple: housing its spiritual leaders. Presently those priests and – for those who are married – their spouses and young children – live off-site in local multi-family housing. The benefit will be the immediate cost-savings associated with off-site housing, proximity to the temple, and the aggregate support for spiritual leaders in one locus. This shared space is best defined in the text of the 2020 NYS Building Code:

CHAPTER 3 OCCUPANCY CLASSIFICATION AND USE DESIGNATION, Section 310  
Residential Group R, Paragraph 310.4: Residential Group R-3 occupancies where the occupants are primarily permanent in nature and not classified as Group R-1, R-2, R-4 or I, including: . . . congregate living facilities (non-transient) with 16 or fewer occupants [such as] monasteries.

In our opinion, a monastery limited to 16 or fewer non-transient priests and family members should fit this definition, as well as a use accessory to a temple or church.

Per Village of Pomona Zoning Code, Chapter 130, Section 130-10 Special Permit Uses, Paragraph G, a house of worship is allowable by Special Permit of the Zoning Board of Appeals.

Per Section 130-11, Accessory Uses, Paragraph G allows “the conduct of non-commercial regularly scheduled gatherings of persons which are incidental to and secondary to the use of the premises as a single residence, provided such use complies with the NYS Fire Prevention and Building Code [sic]\* relating places of assembly and occupancy limitations, if applicable.”

*\*As a side bar, the title “NYS Building and Fire Prevention Code” is no longer in use. At some point, the village may wish to amend its code by replacing that title with “NYS Building Code, latest edition”, or similar language.*

Both the proposed social gathering hall and the restricted occupancy, narrowly defined monastery would be such uses. (Although the term “monastery” cannot be found in the Zoning Code, such accessory use is not prohibited.)

Both accessory uses of the proposed new building will reduce off-site vehicular and pedestrian traffic. By constructing the new building into the grade, it allows direct handicapped accessibility to both floor levels. It also reduces site coverage, floor area ratio and storm water runoff-inducing impervious surfaces. Because it is proposed to construct the building into the grade, what reads as a 32-foot height at the temple-facing front elevation reads only as a 22-foot height at the rear and side yard elevations, thus limiting its visual impact.

Furthermore, if the residence/monastery were to be isolated in a separate single-family residential building on site, it would fall under the requirements of the NYS Residential Building Code rather than the NYS Building Code and – by limitation of the Village of Pomona Zoning Ordinance – could house a maximum of 4 unrelated adults.

**DRAINAGE AGENCY**  
**A DIVISION OF THE HIGHWAY DEPARTMENT**  
26 Scotland Hill Road, Chestnut Ridge, NY 10977  
Phone: (845) 638-5060 Fax: (845) 638-5037  
Email: Drainageagency@co.rockland.ny.us

**Charles H. "Skip" Vezzetti**  
*Superintendent of Highways*  
*Chairman, Drainage Agency*

**Vincent Altieri, Esq.**  
*Executive Director*

**Via email: [jenna.antoine@pomonavillage.com](mailto:jenna.antoine@pomonavillage.com)**

June 20, 2025

Zoning Board of Appeals  
Village of Pomona  
100 Ladentown Road  
Pomona, NY 10970  
Attn.: Jenna Antoine, Clerk to the Board

**Re: Sri Ranganatha Temple Expansion and Building Addition**

Location: 8 Ladentown Road, Pomona  
Parcel ID(s): Section 32.08, Block 1, Lot(s) 59  
Municipality Village of Pomona  
**Resource: Mahwah River**

Dear Zoning Board Members:

The Rockland County Drainage Agency (RCDA) has reviewed the above referenced proposal as prepared by Atzl, Nasher, & Zigler P.C., dated/last revised 11/26/2024, included with the municipal referral dated 6/17/2025. Based on a review, the RCDA offers the following comment(s):

- 1) The above referenced site is outside the jurisdiction of the RCDA, pursuant to the Rockland County Stream Control Act, Chapter 846. Therefore, a Stream Control Act permit from the RCDA is not required for developments within this site. Also, the RCDA has no further comments regarding the proposal, pursuant to the State Environmental Quality Review (SEQR).
- 2) The RCDA recommends that the municipal land use boards and/or departments review all development proposals for this site and ensure that developments with increase in impervious areas and/or land disturbances will not result any increase in stormwater runoff from the site and will have adequate measures to prevent soil erosion and control sediment from leaving the site.

Please contact the RCDA at (845) 638-5060 or by email: [drainageagency@co.rockland.ny.us](mailto:drainageagency@co.rockland.ny.us), if you have any questions regarding this matter.

Very truly yours,



Liron Derguti, Engineer I  
Rockland County Drainage Agency

c: Vincent Altieri, Esq., RCDA  
Building Department, Village of Pomona  
Planning Board, Village of Pomona  
Rockland County Planning Department  
Nicholas King, Rockland County Sewer District No. 1  
File

[louis.zummo@pomonavillage.com](mailto:louis.zummo@pomonavillage.com)  
[jenna.antoine@pomonavillage.com](mailto:jenna.antoine@pomonavillage.com)  
*(by Tyler EPL)*  
*(by email)*  
*(File: 25 RGR 52)*