

VILLAGE OF POMONA
Zoning Board of Appeals Meeting / Public Hearing

August 20, 2025

7:30 PM

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. APPROVAL OF RESOLUTIONS (NONE)

5. **9 Cheesecote Ln** - application of Rachel Lieberman for variances for lot area (required 40,000 s.ft., existing 33,003 s.ft.), lot frontage (required 150 ft., existing 30 ft.), lot width (required 150 ft., existing 121 ft.), side yard (required 25 ft., provided 5 ft.), and rear yard (required 30 ft., provided 5 ft.), to permit the construction of a pool and pool house in the rear yard of premises located at 9 Cheesecote Lane in the Village of Pomona (Tax Map designation 19.17-1-55.1) in the R-40 zoning district.

6. **34 North Ridge Rd** - application submitted by Eliezer Steinmetz on behalf of Chabad of the Heights appealing a Notice of Violation dated May 9, 2025, in connection with a tent erected at the site as a temporary House of Worship at premises known as 34 North Ridge Road in the Village of Pomona, designated on the Tax Map as Section 25.05, Block 2 Lot 13, in the R-40 Zoning District. - **adjourned to Oct 15, 2025 at 7:30PM**

7. **8 Ladentown Rd** - application submitted by Sri Ranganatha Seva Samithi Inc. appealing the determination of the Building Inspector dated May 14, 2025, and seeking an interpretation determining that the applicant's proposed use on the second floor of its proposed expansion of the existing premises is a permitted accessory use, on premises located at 8 Ladentown Rd. Village of Pomona, designated on the Tax Map as Section 32.08, Block 1 Lot 59, in an R-40 Zoning District.

8. Approval of Meeting minutes 7/16/25

9. ADJOURNMENT

Village of Pomona

100 Ladentown Road, Pomona, NY 10970
Telephone: 845-354-0545
Website: www.pomonavillage.com

APPLICATION CHECKLIST FOR:

**TECHNICAL ADVISORY COMMITTEE
PLANNING BOARD
VILLAGE BOARD OF TRUSTEES
ZONING BOARD OF APPEALS**

****All Application Requests require a digital submission emailed to:
jenna.antoine@pomonavillage.com**

APPLICATION FOR ZONING BOARD OF APPEALS

Submit: 15 copies of application

Submit: 15 copies of EAF (*short form*)

Submit: 15 copies of Plot Plan drawn to scale

Submit: 15 copies of architectural and elevations

Submit: 15 copies of narrative summary

Submit: 15 copies of decision or order upon which appeal is based and Notice of Appeals to Building Inspector

Submit: 15 copies of any details that will help the Board judge the application

Submit: Filing Fee: \$200 for existing residence and \$375 for new construction

Submit: Escrow of \$1,500 per lot – Escrows to be replenished as necessary

APPLICATION TO APPEAR BEFORE TECHNICAL ADVISORY COMMITTEE (TAC) (Informal)

Submit: 5 copies of application

Submit: 5 copies of plan & EAF (*short form*)

Submit: 5 copies of narrative summary

Submit: Filing Fee: \$250 per appearance

Submit: Escrow: \$1,500 per lot

APPLICATION TO APPEAR BEFORE PLANNING BOARD

Submit: 14 copies of application

Submit: 14 copies of plan & EAF (*short form*)

Submit: 14 copies of narrative summary

Submit: Application Fee: \$600 per lot + \$250 per appearance after first meeting

Submit: Escrow of \$1,500 per lot – Escrows to be replenished as necessary

APPLICATION TO APPEAR BEFORE BOARD OF TRUSTEES

Submit: 7 copies of application

Submit: 7 copies of plan

Submit: 7 copies of EAF (*short form*).

Submit: 7 copies of narrative summary

APPLICATION REVIEW FORM

PART I

Name of Municipality Village of Pomona Date 5/23/25

Please check all that apply:

<input checked="" type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Municipal Board
<input checked="" type="checkbox"/> Zoning Board of Appeals* <i>(*Fill out Parts I & II of this form)</i>	<input type="checkbox"/> Historical Board
	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision _____ # of Lots _____	<input checked="" type="checkbox"/> Pre-preliminary/Sketch
<input checked="" type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Preliminary
<input checked="" type="checkbox"/> Special Permit	<input checked="" type="checkbox"/> Final
<input type="checkbox"/> Conditional Use	
<input type="checkbox"/> Zoning Code Amendment	
<input type="checkbox"/> Zone Change	
<input checked="" type="checkbox"/> Variance	

Project Name: Sri Ranganatha Temple (Religious Corporation)

Tax Map Designation:

Section 32.08 Block 1 Lot(s) 59

Section _____ Block _____ Lot(s) _____

Location: On the east side of Ladentown Road,
350 feet south of Ladentown Rd/Call Hollow Rd in the
Intersection
town/village of Pomona.

Street Address: 8 Ladentown Road, Pomona, NY 10970

Acreage of Parcel 4.77 ac Zoning District R-40

School District RAMAPO CENTRAL Postal District POMONA

Fire District MOLESTON Ambulance District SPRING HILL COMM. AMB

Water District VEOLIA-POMONA Sewer District RAMAPO

Project Description: *(If additional space required, please attach a narrative summary.)*

The Applicant proposes to expand the existing house of worship on site by constructing an outer enclosed corridor for processions. In addition, they propose to construct a two-story building on site shown as a social gathering hall and monastery on the Site Plan. Please see the attached narratives for details.

APPLICATION REVIEW FORM

If subdivision: NA

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 15,514 sq. ft. (temple)
- 2) Total square footage 45,714 sq. ft (temple) and 12,714 sq. ft. (social gathering hall and monastery)
- 3) Number of dwelling units one communal/ monastery type of living space

If special permit, list special permit use and what the property will be used for.

§130-10G Special Permit required from Village Board for community house of worship

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area. 15%-35% slopes = 8,369 sq. ft. Shown on plan

Are there streams on the site? If yes, please provide the names. None

Are there wetlands on the site? If yes, please provide the names and type. None

Project History: Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

A special permit for construction of a house of worship originally approved by the Village and Planning Board in August 1996. Subsequent approval by Planning Board in January 2010 for revised site plan

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None

APPLICATION REVIEW FORM

Contact Information:

Applicant: Sri Ranganatha Seva Samithi Inc. - Kumaravel Sakthivelu Phone # +1 2012947424

Address 8 Ladentown Road, Pomona, NY 10970
Street Name & Number (Post Office) State Zip code

Property Owner: Sri Ranganatha Seva Samithi Inc. - Kumaravel Sakthivelu Phone # +1 2012947424

Address 8 Ladentown Road, Pomona, NY 10970
Street Name & Number (Post Office) State Zip code

Engineer/~~Architect~~/Surveyor: Atzl, Nasher & Zigler - John Atzl Phone # 845-634-4694

Address 232 North Main Street, New City, NY 10956
Street Name & Number (Post Office) State Zip code

Attorney: Radhika S. Nagubandi, Esq. Phone # 845-642-3701

Address 6 Crum Creek Rd, New City, NY, 10956
Street Name & Number (Post Office) State Zip code

Contact Person: John Atzl - Atzl, Nasher & Zigler Phone # 845-634-4694

Address 232 North Main Street, New City, NY 10956
Street Name & Number (Post Office) State Zip code

General Municipal Law Review:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|--|---|
| <input checked="" type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input checked="" type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above. US ROUTE 202 (STATE HIGHWAY), COUNTY ROUTE 75 (COUNTY HIGHWAY), TOWN OF RAMAPO (TOWN BOUNDARY)

Referral Agencies: *(Please make sure that the appropriate agencies as needed received copies of your application and plans for their review.)*

- | | |
|---|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input checked="" type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Comm. |
| <input checked="" type="checkbox"/> Adjacent Municipality <u>TOWN OF RAMAPO</u> | |
| <input type="checkbox"/> Other _____ | |

****All applicants must send copies of their applications and plans to:**
 Orange and Rockland, Regional manager, 75 West Route 59, Spring Valley, NY 10997.

APPLICATION REVIEW FORM

C. To the extent that the same is known to your applicant, and to the owner of the subject premises there is disclosed herewith the interest of the following officer or employee of the State of New York or the County of Rockland or of the ~~Town~~/Village of Pomona,
in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee None
- b. Nature of interest None
- c. If stockholder, number of shares None
- d. If officer or partner, nature of office and name of partnership None
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or ~~town~~/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. None
- f. In the event of corporate or limited liability company ownership: A list of all directors, officers and stockholders of each corporation or members of each limited liability company owning more than five (5%) percent of any class of stock or more than five (5%) percent beneficial interest, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the ~~Town~~/Village of Pomona.

D. I do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

4. Reimbursement for Professional Consulting Services. I understand that the ~~Town~~/Village Board, Planning Board, Zoning Board of Appeals, and other municipal boards, in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such application as required by law. The charges made by such consultants shall be in accord with charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the ~~town~~/village and each such consultant for the cost of such consultant services upon receipt of the bill.

APPLICATION REVIEW FORM

5. Application Fee(s)

I, Kumaravel Sakthivelu, have paid to the ~~Town~~/Village Clerk and/or Treasurer, the required fee for this application. (The fee is subject to the Schedule of Fees of the municipality). I shall review a copy of the zoning Local Law and Land Development Regulations, and be ready and prepared to review this application when scheduled. The Municipal Board, Planning Board, or Zoning Board of Appeals in the review of any application described above, may refer the subject application to an engineering, planning, environmental, or other technical consultant as such Board shall deem reasonably necessary to enable it to review the application as required by law.

***The following paragraph is optional to add if your municipality establishes escrow accounts:*

(I agree to establish an escrow account with the ~~Town~~/Village of Pomona from which these consultants' fees will be paid. The escrow account will not draw interest, and will be replenished upon notification by the ~~Town~~/Village. Any additional sums needed to pay the ~~Town's~~/Village's consultants shall be paid prior to final action on the application. The ~~Town~~/Village may suspend processing of the application if there is a deficiency in the escrow account. Permits will not be issued and site plan or subdivision will not be signed until bill is paid in full. Any sums remaining in the escrow account after the consultants have been paid in full will be returned to the applicant. The applicant has the right to examine escrow and payment records upon prior written notice to the ~~Town~~/Village.)

Applicant's Signature



Print Applicant's Name Kumaravel Sakthivelu

SWORN to before me this

12th day of June, 2025


Notary Public

JACQUELINE BERGER
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BE6439143
Qualified in Rockland County
My Commission Expires August 22, 2026

I have received from _____ the sum of _____ on this date

Reviewed by the _____ on _____
Municipal Clerk/Treasurer

Action Taken: _____

APPLICATION REVIEW FORM

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Clarkstown

I, Kumaravel Sakthivelu being duly sworn, hereby
depose and say that I have an office at: 8 Ladentown Road, Pomona, NY 10970

in the county of Rockland in the state of New York

I am the (* Trustee) owner in fee simple of premises located at:
8 Ladentown Road, Pomona, NY 10970

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber 00445 of conveyances, page 02842 or as Instrument ID #

Said premises have been in my/its possession since 1991. Said premises are also
known and designated on the Town of Village of Pomona Tax Map as:
section 32.08 block 1 lot(s) 59

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner [Signature]
Mailing Address 8 Ladentown Road
Pomona, NY 10970

SWORN to before this
12th day of June, 2025

[Signature]
Notary Public

JACQUELINE BERGER
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BE6439143
Qualified in Rockland County
My Commission Expires August 22, 2026

* If owner is a corporation or LLC, fill in the office held by deponent and name of
corporation or LLC, and provide a list of all directors, officers, and stockholders
owning more than 5% of any class of stock and all members having greater than 5%
beneficial interest.

APPLICATION REVIEW FORM

PART II*

Application before the Zoning Board of Appeals

Application, petition, or request is hereby submitted for:

- Area Variance from the requirement of Section _____;
- Use Variance from the requirement of Section _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit ~~construction~~ expansion, maintenance and use of existing temple and construct a two-story building on site. See narratives for details.

Previous Appeal:

- a. A previous appeal ___ has, or has not, been made with respect to this property.
- b. Such appeal was in the form of:
 - ___ An AREA Variance; or
 - ___ A USE Variance; or
 - NA ___ Appeal from decision of Town Official or Officer; or
 - ___ Interpretation of the Zoning Ordinance or Map; or
 - ___ Other
- c. The previous appeal described above was appeal number NA, dated NA and was NA (Granted/Denied).

TO ALL APPLICANTS: Complete all relevant information by the section or sections pertaining to your appeal ONLY. You may also include extra pages to supplement this form with a narrative explanation. At the time of the hearing, you must present written documentation in support of all the statements made in this application. You must also substantiate all financial information supplied.

APPLICATION REVIEW FORM

A. AREA VARIANCE *(This section to be completed only for an AREA variance. Use additional pages, if needed.)*

This application seeks a variance from the provisions of Article _____, Section(s) _____. Specifically, the applicant seeks a variance from the requirements from:

Dimension*	Column	Required	Provided

**e.g., front yard, side setback, FAR, etc.*

1. Is the requested variance the minimum necessary to relieve the practical difficulty or economic injury? _____
Describe: _____

2. Is the variance substantial in relation to the zoning code? _____
Explain: _____

3. Will a substantial change be produced in the character of the neighborhood, or a substantial detriment to adjoining property owners be created, if this variance is granted? _____
Explain: _____

4. Can the alleged practical difficulty or economic injury be overcome by some method other than a variance? _____
Explain: _____

APPLICATION REVIEW FORM

5. Will the granting of this variance affect the health, safety, or welfare of the neighborhood or community? _____

Explain: _____

6. Will there be any affect on governmental facilities or services if this variance is granted? _____

Describe: _____

7. Other factors I/we wish the Board to consider in this case are

B. USE VARIANCE *(This section to be completed only for a USE variance. Use additional pages, if needed.)*

1. This property cannot be used for any uses currently permitted in this zone because:

2. The problem with this property is due to unique circumstances and not to the general conditions of the neighborhood in that:

3. The use requested by this variance will not alter the essential character of the neighborhood in that:

4. The amount paid for the entire parcel was: _____

5. The date of purchase of the property was: _____

6. The present value of the entire property is: _____

7. The monthly expenses attributed to normal and usual maintenance of the property are: _____

8. The annual taxes on the property are: _____

APPLICATION REVIEW FORM

9. The current income from the property is: _____

10. The amount of mortgages and other encumbrances on the property in question is:

a. Date of mortgage: _____

b. Scheduled maturity (payoff) date: _____

c. Present monthly payment amount: _____

d. Current principal balance: _____

e. Current interest rate: _____

11. Other factors I/we wish the Board to consider in this case are:

C. APPEAL OF DECISION OF BUILDING INSPECTOR *(This section to be completed for an appeal, only. Use additional pages, if needed.)*

1. Name and position of official making the decision:

Louis Zummo, Building Inspector II, Village of Pomona NY _____

2. Nature of decision:

Review of Material supplied for Planning Board and Special Use Permit to determine the permissible nature of the secondary structure on the lot and its usage. Refer to attached building inspector letter for details.

3. The decision described above is hereby appealed because:

Refer to narratives for details, and see supplemental documents for details.

D. INTERPRETATION OF ZONING CODE *(This section to be completed for an interpretation, only. Use additional pages, if needed.)*

1. Section(s) to be interpreted: _____

2. An interpretation of the Zoning Code is requested because:

Sri Ranganatha Temple (Religious Corporation)

**Owners of Properties 500 FT. of
TL 32.08-1-59**

Village of Pomona

<u>Tax Lot ID</u>	<u>Owner and Address</u>
24.20-1-5	2-6 Call Hollow LLC 5 Deborah Rd Monsey, NY 10952
32.08-1-1	Ladentown United Methodist Ch PO Box 165 Pomona, NY 10970
32.08-1-2	Stuart & Lee Anne Greene 16 Ladentown Road Pomona, NY 10970
32.08-1-3	James K Knowles & Mr. K's Carpet Svc Inc 18 Ladentown Rd Pomona, NY 10970
32.08-1-4	Jeffrey Rosen 20 Ladentown Rd Pomona, NY 10970
32.08-1-5	Village of Pomona 100 Ladentown Rd Pomona, NY 10970
32.08-1-6	Yisroel Zellermaier & Rifky Lieberman 2 Jade Ct Pomona, NY 10970
32.08-1-7	Phillip & Charlese Randolph 4 Jade Ct Pomona, NY 10970

32.08-1-8 Haimley D & Dorcilia Tanis
6 Jade Ct
Pomona, NY 10970

32.08-1-9 Chaya F Gordon
8 Jade Court
Pomona, NY 10970

32.08-1-10 Carol Y Lee & Jared J Urbanek
10 Jade Ct
Pomona, NY 10970

32.08-1-11 Nicholas G & Patricia C Wilson
12 Jade Ct
Pomona, NY 10970

32.08-1-12 Muhammad Afran & Samina Bibi
14 Jade Ct
Pomona, NY 10970

32.08-1-13 Shersheial & Malka Borisute
16 Jade Ct
Pomona, NY 10970

32.08-1-14 Israel & Devorah Israily
18 Jade Ct
Pomona, NY 10970

32.08-1-15 Yoel G & Bracha Kivelevitz
15 Jade Ct
Pomona, NY 10970

32.08-1-16 Menachem & Mirel Reizes
13 Jade Ct
Pomona, NY 10970

32.08-1-17 Eleven Jade Court LLC
11 Jade Ct
Pomona, NY 10970

32.08-1-18 Stephen E & June C Hoffman
9 Jade Ct
Pomona, NY 10970

32.08-1-19 Chaim & Ayala Kenig
7 Jade Ct
Pomona, NY 10970

32.08-1-20 Amina Smith
5 Jade Ct
Pomona, NY 10970

32.08-1-27 Chaim Kroynik & Malka Lieblich
3 Opal Ct
Pomona, NY 10970

32.08-1-28 Curtis Bell & Joan D. Sargent-Bell
4 Opal Ct
Pomona, NY 10970

32.08-1-55.1 Eloise Litman
682 Rt 306
Suffern, NY 10901

32.08-1-55.2 Congregation Rabbinical Institute of Tartikov Inc
10 Jeffrey Pl
Monsey, NY 10952

32.08-1-53 Cong Rabbinical College Of Tartikov Inc
PO Box 304
Monsey, NY 10952

32.08-1-54 Congregation Rabbinical Institute of Tartikov Inc
10 Jeffrey Pl
Monsey, NY 10952

32.08-1-56 Sri Ranganatha Seva
4 Ladentown Rd
Pomona, NY 10970

32.08-1-57 Daniel Mirro & Lynn Corbett
24 Will Rogers Lane
Nanuet, NY 10954

32.08-1-60 Ian B Banks & Alison K Miller
12 Ladentown Rd
Pomona, NY 10970

Town of Ramapo

24.19-1-4 Ramaquois Acquisition Co
c/o Camp Group LLC
4 New King St Ste 1
White Plains NY 10604

24.19-1-5 Aarne & Tina W Anton
6 Mountain Rd
Pomona NY 10970

24.20-2-1 Peter J Carney
17 Ladentown Rd
Pomona NY 10970

24.20-2-2 James K & Beth Knowles
c/o MR K's Carpet SVC INC
18 Ladentown Rd
Pomona NY 10970

24.20-2-3 Wilma Galiardo
1 Call Hollow Rd
Pomona NY 10970

32.07-1-4 Campgroup Holdings LLC
c/o Mark Benerofe
4 New King St
White Plains NY 10604

32.07-1-5.1 Menachem M Kirschenbaum & Hadassah Kaplan
13 Ladentown Rd
Pomona NY 10970

32.07-1-5.2 Cong Achdus Yisroel Center of Jewish Unity
9 Ladentown Rd
Pomona NY 10970

32.07-1-6 Marie G & Michael Beaudouin
7 Ladentown Rd
Pomona NY 10970

32.07-1-7 William H & Reyes Donald
Jose M & Felix Josephine
5 Ladentown Rd
Pomona NY 10970

32.07-1-8 Varughese G & Mariamma Karamvelil
3 Ladentown Rd
Pomona NY 10970

32.07-1-9 Zacharya Levine
1 Ladentown Rd
Pomona NY 10970

32.07-1-10 Campground Holdings LLC
4 New King Street
White Plains, NY 10604

32.11-1-4.1 PF RE Holdings LLC
c/o Isidor Friedenberg
2 Cara Drive
Suffern NY 10901

32.11-1-4.2 JHPAT Enterprises LLC
1 Hunters Run
Suffern NY 10901

VILLAGE OF POMONA

100 LADENTOWN ROAD

POMONA, N.Y. 10970

Phone (845) 354-0545 ~ Fax (845) 354-0604

May 14, 2025

Sri Ranganatha Temple

8 Ladentown Rd SBL – 32.08-1-59

Pomona NY 10970

RE: Review of Material supplied for Planning Board and Special Use Permit, to determine the permissible nature of the secondary structure on the lot and its usage.

The applicant proposes a 14,672 SF two story building as an accessory usage to the expanded temple. The first floor of this structure is a “social hall” with bathrooms and a commercial kitchen. The second floor would be a housing unit consisting of 12 sleeping rooms, 9 bathrooms, 9 private living rooms, 1 communal kitchen, 1 communal dining room, and 1 communal living room. These rooms are arranged into 9 suites: Three two-bedroom units, each with two bedrooms, a private bath, closets and a common sitting area. Six one-bedroom suites, with one bedroom, a private bath, closets, and a sitting area.

According to the narrative there will be a maximum of 16 residents occupying the 12 bedrooms. The narrative also states “Presently those priests and – for those who are married- spouses and young children – live off-site in local multi family housing. The benefit will be the immediate cost savings associated with the off-site housing, proximity to the temple, and the aggregate support for the spiritual leaders in one locus.”

The applicant is requesting the area be considered a Monastery, per the narrative by Degenshein dated 8/28/2023. I do not agree with this determination for several reasons. One being the applicants own narrative states these Families currently " live in off-site local multifamily housing" Changing the location does not change the type of housing. Another issue is that a monastery would not include housing for full families, including children, but typically houses individuals. This use also does not fit with the zoning as it would be accessory family housing to an educational institution.

Based on the plans supplied the room layouts and communal eating areas, most closely resembles a dormitory. It contains private or semiprivate rooms opening to a common area with communal dining, cooking, laundry, and recreational facilities. The village does not have a code provision for Multifamily dormitories. It is not permitted.

There is also a residential dwelling unit currently in existence in the main temple for the priests. This must also be brought into compliance prior to the approval of the special use permit or the Planning Board approval. The dwelling unit is considered a principal use and the calculations should be adjusted to accommodate it according to the code.

The social hall is allowed as an accessory use to the House of Worship, as long as it is only used for temple related events. The hall can be used for Wedding ceremonies or other events, but wedding receptions are commercial. It cannot be leased out, rented out, used for commercial enterprises such as catering, affairs, events, seminars, wedding receptions, etc. If that is going to be the function or use, it is considered a commercial use and is not allowed.

There are many other issues which need to be discussed and reviewed such as the potential variances required for parking, fire truck accessibility, building coverage, lot coverage,

Best Regards,

Louis Zummo
Building Inspector II
Village of Pomona NY





ATZL, NASHER & ZIGLER P.C.

ENGINEERS - SURVEYORS - PLANNERS

Web: www.anzny.com

May 21, 2025

Village of Pomona
Zoning Board of Appeals
100 Ladentown Road
Pomona, NY 10970

Attn: Mr. Jesse Kaufman, Chairman
Cc: Mr. Louis Zummo, Building Inspector II

Re: Sri Ranganatha Temple (8 Ladentown Road, Pomona, NY 10970 | Tax Lot 32.08-1-59)

Dear Chairman Kaufman and Honorable Board members:

The following is our response to the letter issued by Louis Zummo, Building Inspector II of Village of Pomona dated May 14, 2025:

1. **Comment:** The applicant proposes a 14,672 SF two story building as an accessory usage to the expanded temple. The first floor of this structure is a “social hall” with bathrooms and a commercial kitchen. The second floor would be a housing unit consisting of 12 sleeping rooms, 9 bathrooms, 9 private living rooms, 1 communal kitchen, 1 communal dining room , and 1 communal living room. These rooms are arraigned into 9 suites: Three two-bedroom units, each with two bedrooms, a private bath, closets and a common sitting area. Six one-bedroom suites, with one bedroom, a private bath, closets, and a sitting area.

Response: The Applicant has not represented a commercial kitchen anywhere. The kitchen will serve as a warming kitchen for off-site caterers.

Additionally, there is no mention of "living rooms" for each bedroom suite - only a sitting area so that a priest may read while a spouse sleeps, as the bedrooms are uncommonly spare in size. There is only one communal living room for the entire Monastery.

Also, the proposed two-story accessory building is 12,714 sq ft in area.

2. **Comment:** According to the narrative there will be a maximum of 16 residents occupying the 12 bedrooms. The narrative also states “Presently those priests and – for those who are married- spouses and young children – live

off-site in local multifamily housing. The benefit will be the immediate cost savings associated with the off-site housing, proximity to the temple, and the aggregate support for the spiritual leaders in one locus.”

Response: This is a statement provided in the narrative prepared by the project architect, Degenshein Architects, dated August 28, 2023.

3. Comment: The applicant is requesting the area be considered a Monastery, per the narrative by Degenshein dated 8/28/2023. I do not agree with this determination for several reasons.

- One being the applicants own narrative states these Families currently " live in off-site local multifamily housing" Changing the location does not change the type of housing.

Response: The essential nature of a monastery is not determined solely by the current housing type of its future residents, but by the intended use, organization, and religious structure of this proposed facility. The facility being proposed is purposefully designed to serve as a monastery — where priests will live, worship, and carry out their daily lives in a communal, and spiritually governed environment.

While it is true that the priests currently reside in typical multifamily housing, the relocation into the proposed Monastery reflects a fundamental shift in purpose, structure, and oversight:

- *The property will be owned, operated, and overseen by the religious institution, not by individual families.*
- *The use of the proposed space and governance of this facility will be defined by communal living, consistent with traditional interpretations of a monastery.*

We respectfully ask that this application be considered in light of the intended use, operational model, and precedents for similarly structured religious communities, rather than relying solely on the prior living arrangements of the future residents.

- Another issue is that a monastery would not include housing for full families, including children, but typically houses individuals.

Response: We respectfully submit that this is a narrow and incomplete understanding of monastic tradition and religious land use protections. There is no universal requirement that a monastery house only individuals. The nature

of a monastery must be interpreted in the context of the specific religious tradition and its doctrine.

In this case, the proposed Monastery is consistent with the practices of the Applicant's faith, in which priests (most of them unmarried; some may have a spouse, and very few may have children) live communally under religious guidance and participate in structured religious life. This arrangement is not incidental but essential to the religious expression and spiritual structure of the Applicant's monastic community.

Religious land use is protected under the Religious Land Use and Institutionalized Persons Act (RLUIPA), which prohibits zoning authorities from imposing land use regulations that substantially burden religious exercise, unless there is a compelling governmental interest pursued through the least restrictive means.

Attempting to impose a narrow definition of "monastery" that excludes religious communities like the Applicant's risks violating these protections. In this case, the religious function of the proposed development, not the presence of priests (with or without spouses or children) is the controlling factor in determining the use classification of the proposed Monastery.

We respectfully request that the application be evaluated on the actual religious use and structure proposed, not on rigid assumptions about monastic living arrangements.

- This use also does not fit with the zoning as it would be accessory family housing to an educational institution.

Response: The Applicant believes that the proposed Monastery is an accessory use to a community house of worship, similar to a Mikvah, a Social Hall, or associated administrative offices. The Applicant will appeal the determination rendered by Louis Zummo dated May 14, 2025, to the Village of Pomona Zoning Board of Appeals (ZBA).

4. Comment: Based on the plans supplied the room layouts and communal eating areas, most closely resembles a dormitory. It contains private or semiprivate rooms opening to a common area with communal dining, cooking, laundry, and recreational facilities. The village does not have a code provision for Multifamily dormitories. It is not permitted.

Response: While it is true that the facility includes a shared kitchen, dining area, and recreational space, these architectural features are not determinative of

the use or classification of the proposed Monastery. Communal dining, cooking, and shared recreation are in fact hallmarks of monastic life, not evidence against it.

Such design facilitates religious cohesion, mutual service, and collective spiritual practice, which are essential to monastic discipline. These features do not indicate secular dormitory use, but rather reinforce the religious purpose and spiritual unity of the community. Proximity to the community house of worship is essential to provide the needed religious services.

Zoning classifications must consider the intended use and governing purpose of the facility — not just its physical form. Under RLUIPA, courts have made clear that the religious nature of use cannot be dismissed merely because a facility’s layout is similar to that of another secular use.

The design of the proposed facility directly supports its religious purpose:

- *Residents live in spiritual community governed by religious rules;*
- *Shared facilities foster intentional religious practice, not transient or commercial habitation;*
- *The community is overseen by a religious authority and not structured for individual tenancy or economic use.*

This is categorically different from a dormitory, which serves primarily as transient lodging for unrelated individuals with no spiritual or communal obligations beyond cohabitation.

It should be noted that in the case of Congregation Rabbinical College of Tartikov v. Village of Pomona, the court rejected the municipality’s argument that proposed residential buildings with shared dining and living areas constituted standard multifamily housing. Instead, it recognized the design as consistent with religious practice and protected under RLUIPA.

In conclusion, the physical layout of the proposed facility is entirely consistent with the long-established norms of monastic and religious communities. We respectfully assert that the building design supports — rather than contradicts — the intended monastic use and request that it be evaluated accordingly.

5. Comment: There is also a residential dwelling unit currently in existence in the main temple for the priests. This must also be brought into compliance prior to the approval of the special use permit or the Planning Board approval. The

dwelling unit is considered a principal use and the calculations should be adjusted to accommodate it according to the code.

Response: The Applicant asserts that it was approved.

6. Comment: The social hall is allowed as an accessory use to the House of Worship, as long as it is only used for temple related events. The hall can be used for Wedding ceremonies or other events, but wedding receptions are commercial. It cannot be leased out, rented out, used for commercial enterprises such as catering, affairs, events, seminars, wedding receptions, etc. If that is going to be the function or use, it is considered a commercial use and is not allowed.

Response: The proposed social gathering hall is for temple related events and congregational uses only. The Applicant has made it clear to the Technical Advisory Committee (TAC) that they have no intention of leasing or renting the space for commercial purposes.

However, the Applicant contends that wedding receptions are conventionally held in social halls of community houses of worship, so are other "events and seminars" denoted in the comment.

7. Comment: There are many other issues which need to be discussed and reviewed such as the potential variances required for parking, fire truck accessibility, building coverage, lot coverage.

Response: The Applicant has been and will continue to work closely with the Village of Pomona to ensure compliance of the proposed site development plan with current codes and bulk requirements.

A parking plan was submitted on 6/9/23 and fire truck accessibility was submitted on 8/28/24.



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June 12, 2025

Members of the Zoning Board of Appeals
Village of Pomona
100 Ladentown Road
Pomona, NY 10970

Re: Appeal to ZBA: Determination of Building Inspector dated May 14, 2025
Planning Board Application of 1/23/2023 and
Special Permit Application dated 12/12/2024

Property owner Sri Ranganatha Temple
Property Address 8 Ladentown Road, Pomona, NY 10970
Section 32.08 Block 1 Lot 59

I. **Appeal to review the determination of the Building Inspector dated May 14, 2025:**

1. The applicant Sri Ranganatha Temple is a New York Religious Corporation hereinafter referred to as “Temple/ Appellant” obtained a Special permit in 1996 and constructed a house of worship in the Village of Pomona, at the above said property.

2. On January 23, 2023, the Temple made an application for expansion of the existing premises by adding a closed corridor to facilitate the religious processions, particularly during winter months along with an accessory social hall and a monastery type of use on the second floor of the proposed social hall for the residences of the Temple's ordained Hindu priests. Said 2023 application consists of a Planning Board application as required by the code, was processed through Village's TAC process.
3. Beginning in February of 2023, the Villages' TAC unit required a determination of the building inspector as to the issues raised by the TAC, code interpretation of the monastery use of the proposed second floor of the social hall. The TAC requested the building inspector once in person and subsequently several times by correspondence dated 2/7/23, 8/4/23, 9/14,23 and 8/28/24 requested building inspector's code interpretation.
4. On May 14, 2025, after two (2) years and three (3) months from the date of the first request for code interpretation, the building inspector finally gave a determination letter, which is annexed here to.
5. The Applicant disagrees with the interpretation of the building inspector who states that the proposed monastery use by the ordained priests is not a permitted accessory use although a small monastery is incidental and needed accessory use for a house of worship. The New York State Building Code Section 310.4 residential Group R-3, provides that a primarily non-transient in nature

- including congregate living facilities with fewer than 16 occupants as a monastery, giving guidance to this board to determine the proposed monastery use as a permitted accessory use of a house of worship. Since the village code does not define monastery use, but the same is an essential and necessary component of a house of worship for a Hindu Temple, this board can take the guidance from the State of New York building code to determine the proposed small monastery as an accessory use permitted by the village code.
6. The Village Code of Pomona provides in section 130.4 accessory use as a use customarily incidental and subordinate to the principal permitted use on the same lot and located on the same lot therewith. Clergy's residences, convents and monasteries are accepted as accessory uses for houses of worship for centuries in the State of New York and permitted a small monastery as an accessory use.
 7. The building inspector made an error in determining that the Appellant's proposed monastery use as a dormitory use. The Village Code in Section 130-10 F (12) defines a dormitory use as a permitted accessory use with an educational use. Since the Appellant is not an educational institute, said determination is not applicable to the Appellant's house of worship.
 8. The proposed use on the second floor of the social hall falls under the permitted accessory use for a house of worship and the building inspector's determination that it is a dormitory is wrong and this board shall interpret the building code of the Village of Pomona and the State of New York and make a determination that

the proposed small monastery use is a permitted accessory use for the Applicant's house of worship. Appellant's Engineers, Atzl, Nasher & Zigler, P.C., in its annexed letter dated May 21, 2025, provided detailed responses to the building inspector's determination letter dated May 14, 2025; and the compelling religious reasons, explanation and in-depth analysis why the monastery use in the subject case should be permitted as an accessory use and responds to other issues raised by the building inspector.

9. Please see annexed letter from Appellant's engineers, Atzl, Nasher & Zigler, P.C. dated May 21, 2025, which is incorporated and made a part hereof.
10. The Village Code Section 130-28 (F) authorizes this Zoning Board of Appeals to decide any questions involving the interpretation of any of the provisions of the code made by any administrative official charged with the enforcement of the code, in this instance, the determination of the building inspector. As a result, this Board is authorized to reverse the determination of the building inspector and interpret the proposed monastery use as a permitted accessory use.

II. Request for Area variance from Section 130-10 G (6) of the Village Code:

11. The building inspector's determination dated May 14, 2025 provides that certain bulk variances are required for the proposed expansion by the Appellant.
12. The Village Code of Pomona provides 10% building coverage for community houses of worship. The Applicant's proposed building coverage exceeds the 10% building coverage and requests to grant an area variance permitting up to 14.5% building coverage.

13. The Applicant's religious practices consist of several processions around the sanctuary. Specifically, during Vaikunta Ekadasi, a high holiday which falls during the months of December or January is based on the lunar calendar. During said special holiday, priests and devotees are required to walk with barefoot around the temple. To have respite from bad weather, a closed corridor is proposed for the barefoot devotees during processions and also to accommodate a chariot to take around the sanctuary. To safely maneuver the chariot and accommodate the people to walk inside the corridor, a fairly large corridor is required. The entire first floor of the closed corridor consists of 15,118 square feet and is only used for processions. As a result, the Applicant needs a minor area variance to meet the religious needs and accommodate the enclosed corridor.
14. The permitted building coverage is 10% and the proposed building coverage is 14.2% and the proposed lot coverage is 34.5%, as it is apparent that most of the area variance is required due to the closed corridor of 15,118 square feet.
15. Although the Village Code section 130.10 requires a minimum lot of 3 acres for a house of worship, the Applicant's subject property is 4.7 acres in area.
16. The requested area variances are minimal and eliminate practical difficulty to conduct the religious practices of processions without the difficulties from the effects of weather conditions. The variance eliminates disturbances to the neighbors, if any, by being conducted inside the enclosed corridor. No

substantial change to the neighborhood nor cause any public safety issues. No other solution is available other than obtaining the variance.

17. Additionally, RLUIPA provides that no government shall impose or implement a land use regulation in a manner that imposes substantial burden on religious institutions unless in furtherance of a compelling governmental interest and it is the least restrictive means of furthering said compelling governmental interest.

18. Strict imposition of the conditions of the area requirements substantially burdens the Appellant's religious practices and reasonable accommodation is needed to further the religious practices of the Appellant, Hindu Temple.

19. Further, RULIPA prohibits discrimination in zoning and land use regulations. The Village of Pomona code discriminates against communal houses of worship by placing more stringent areas and lot coverage requirements than for neighborhood houses of worship.

20. The village code permits 15% building coverage and 50% lot coverage for neighborhood houses of worship. However, it discriminates against community houses of worship by imposing higher restrictions permitting only 10% building coverage and 25% lot coverage. As such it violates the RLUIPA provisions.

21. Granting area variance is a reasonable accommodation to the Appellant from the strict zoning requirements.

Based on the above, the Appellant respectfully requests that (a) the building inspector's interpretation be reversed by this board and (b) find that the monastery use of the second floor is a permitted accessory use for the Appellant's house of worship and (c) grant the

necessary area variances to construct the proposed expansion and such other and further relief as this board may find necessary and just.

New City: New York

s/RadhikaNagubandi

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Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres

b. Total acreage to be physically disturbed? _____ acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

• Total number of phases anticipated _____

• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

• Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

* $[(\text{Proposed Buildings sq. ft.} - \text{Existing Buildings sq. ft.}) / \text{Existing Buildings sq. ft.}] \times 100$
 $[(58,428 \text{ sq. ft.} - 15,514 \text{ sq. ft.}) / 15,514 \text{ sq. ft.}] \times 100$

f. Does the project include new residential uses? **PROPOSED MONASTERY WITH NO MORE THAN 16 RESIDENT OCCUPANTS. SEE ARCHITECTURAL PLANS FOR DETAILS.** Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day *

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

*** House of worship/social hall:**

According to the 2012, U.S. Energy Information Administration's Commercial Buildings Energy Consumption Survey data, a public assembly building will have a water consumption (per thousand square feet) of 70.2 gallons per day.

Monastery:

Per the NYSDEC, the average person uses 50 gallons of water a day. Calc: 50 gallons x 16 occupants = 800 gallons of water

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
--	---

* According to the 2012 U.S. Energy Information Administration's Commercial Buildings Energy Consumption Survey data, religious worship buildings had a electricity consumption of 5.2 kWh per square foot and social/meeting buildings had a electricity consumption of 10.2 kWh per square foot.

Calculation: 45,714 sq. ft. (house of worship) x 5.2 kWh = 237,712.8 kWh
6,453 sq. ft. (social hall) x 10.2 kWh = 65,820.6

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features. **NO WETLANDS OR WATERBODIES ON PROJECT SITE**

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
E.3. Designated Public Resources On or Near Project Site	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: Ladentown United Methodist Church

iii. Brief description of attributes on which listing is based:
Areas of significance include architecture and social history.

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: Palisades Interstate Parkway, Lake Welch Parkway

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): State Scenic Byway, State Parkway

iii. Distance between project and resource: 1.48- 3.64 miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

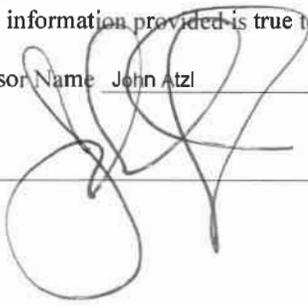
Attach any additional information which may be needed to clarify your project.

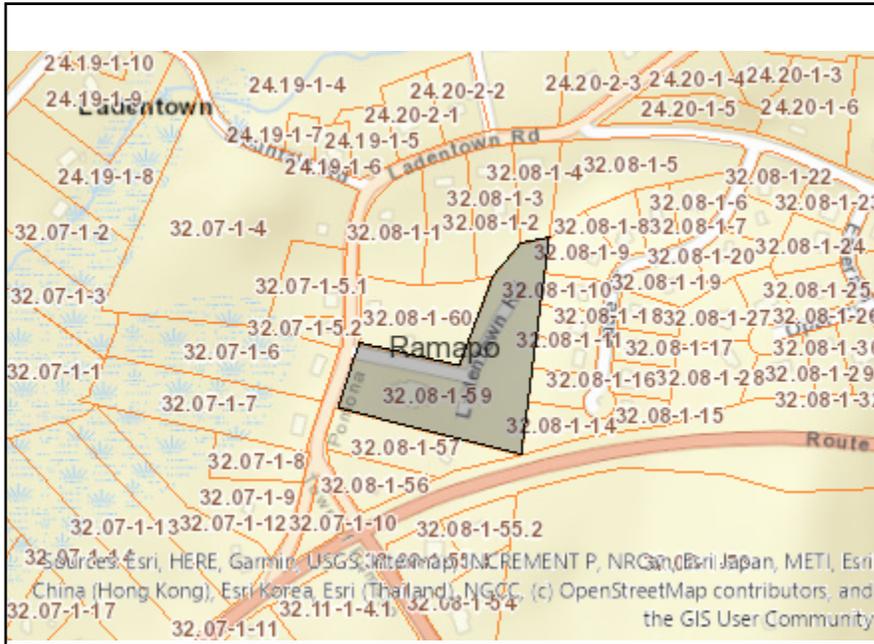
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name John Atzi Date 7-22-24 , Revised 11-26-24

Signature  Title Professional Surveyor



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	860-15
E.2.h.iv [Surface Water Features - Stream Classification]	B
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No

E.2.l. [Aquifers]	Yes
E.2.i. [Aquifer Names]	Principal Aquifer, Primary Aquifer, Sole Source Aquifer Names:Ramapo SSA
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Timber Rattlesnake
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Ladentown United Methodist Church
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



Spill Incidents Database Search Details

Spill Record

Administrative Information

DEC Region: 3

Spill Number: 1012830

Spill Date/Time

Spill Date: 03/24/2011 **Spill Time:** 12:30:00 PM

Call Received Date: 03/24/2011 **Call Received Time:** 03:37:00 PM

Location

Spill Name: DONALD

Address: 5 LADENTOWN RD

City: POMONA **County:** Rockland

Spill Description

Material Spilled Amount Spilled Resource Affected

#2 fuel oil UNKNOWN Soil

Cause: Equipment Failure

Source: Private Dwelling

Waterbody:

Record Close

Date Spill Closed: 11/14/2011

"Date Spill Closed" means the date the spill case was closed by the case manager in the Department of Environmental Conservation (the Department). The spill case was closed because either; a) the records and data submitted indicate that the necessary cleanup and removal actions have been completed and no further remedial activities are necessary, or b) the case was closed for administrative reasons (e.g., multiple reports of a single spill consolidated into a single spill number). The Department however reserves the right to require additional remedial work in relation to the spill, if in the future it determines that further action is necessary.

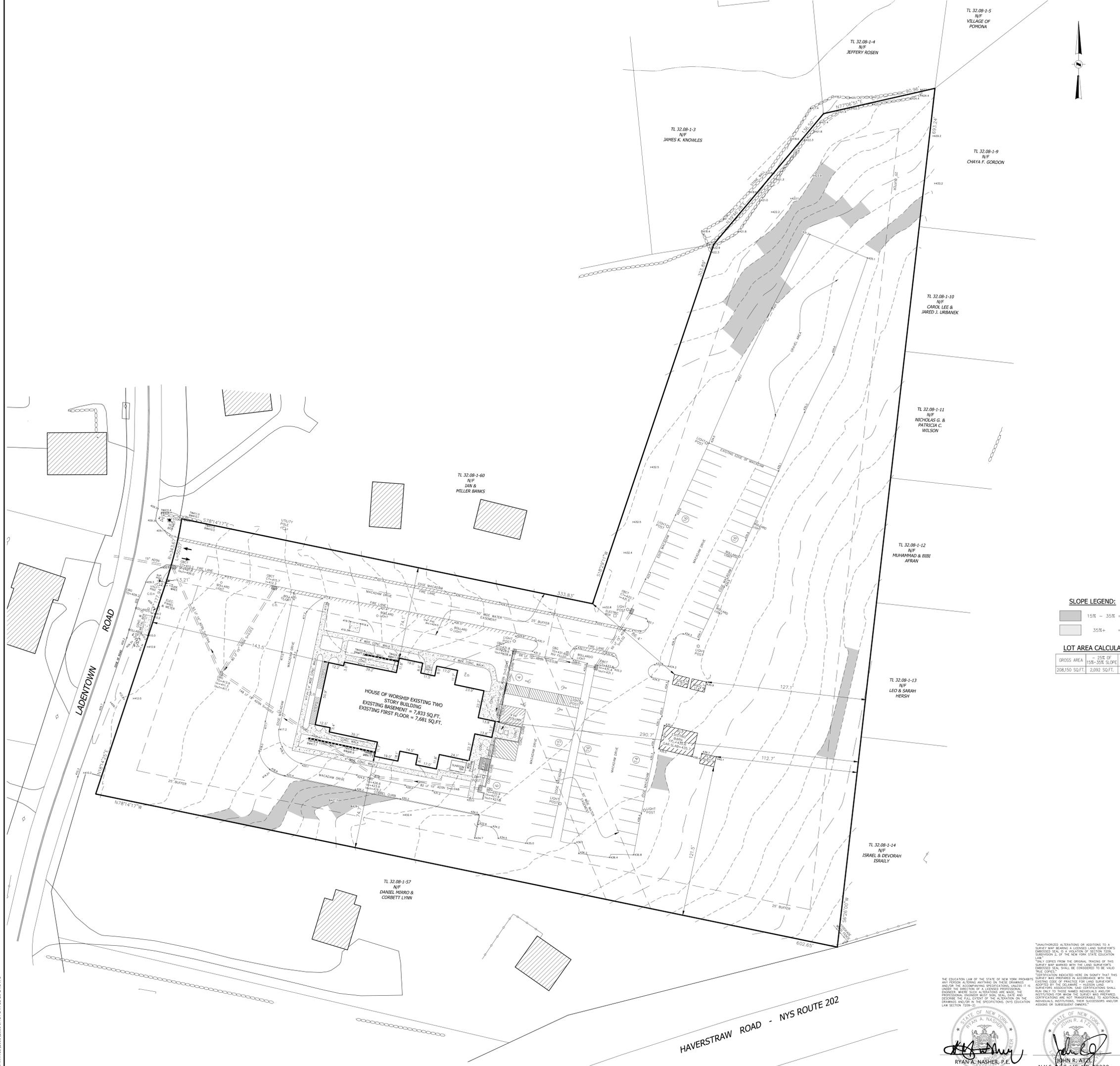
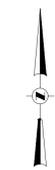
If you have questions about this reported incident, please contact the [Regional Office](#) where the incident occurred.

Refine This Search

Return To Results

LEGEND

- 2' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- --- EXISTING WATERLINE
- --- EXISTING FIRE HYDRANT
- --- EXISTING GAS LINE
- --- EXISTING STORM DRAIN LINE
- --- EXISTING SEWER MANHOLE
- --- EXISTING SEWER LINE
- --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING RAIL ROAD TIE WALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- LUP --- EXISTING UTILITY & LIGHT POLE
- --- TOP OF CURB
- --- DROP OF CURB
- TW --- TOP OF WALL
- BW --- BOTTOM OF WALL



SLOPE LEGEND:

- 15% - 35% = 8,369 SQ.FT.
- 35%+ = 0 SQ.FT.

LOT AREA CALCULATION:

GROSS AREA	- 25% OF 15%-35% SLOPE	- 100% OF 35% SLOPE	NET AREA
208,150 SQ.FT.	2,092 SQ.FT.	0 SQ.FT.	206,058 SQ.FT.

REVISION	DATE	DESCRIPTION
4	11-26-24	REVISE PROJECT TITLE
3	7-22-24	PER DRAINAGE MITIGATION PLAN AND DETAIL
2	8-29-23	REV. BLDGS & PER TAC COMMENTS 8-9-23
1	6-9-23	REV. BLDGS & PER TAC COMMENTS 2-8-23

AN&Z ATZL, NASHER & ZIGLER P.C.
 ENGINEERS - SURVEYORS - PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4894
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

PROJECT: **SRI RANGANATHA TEMPLE (RELIGIOUS CORPORATION)**
 VILLAGE OF POMONA
 ROCKLAND COUNTY, NEW YORK

EXISTING CONDITION

DRAWN BY: ED	CHECKED BY: JRA
DATE: JANUARY 19, 2023	SCALE: 1 IN. = 30 FT.
PROJECT NO: 1635	DRAWING NO: 2

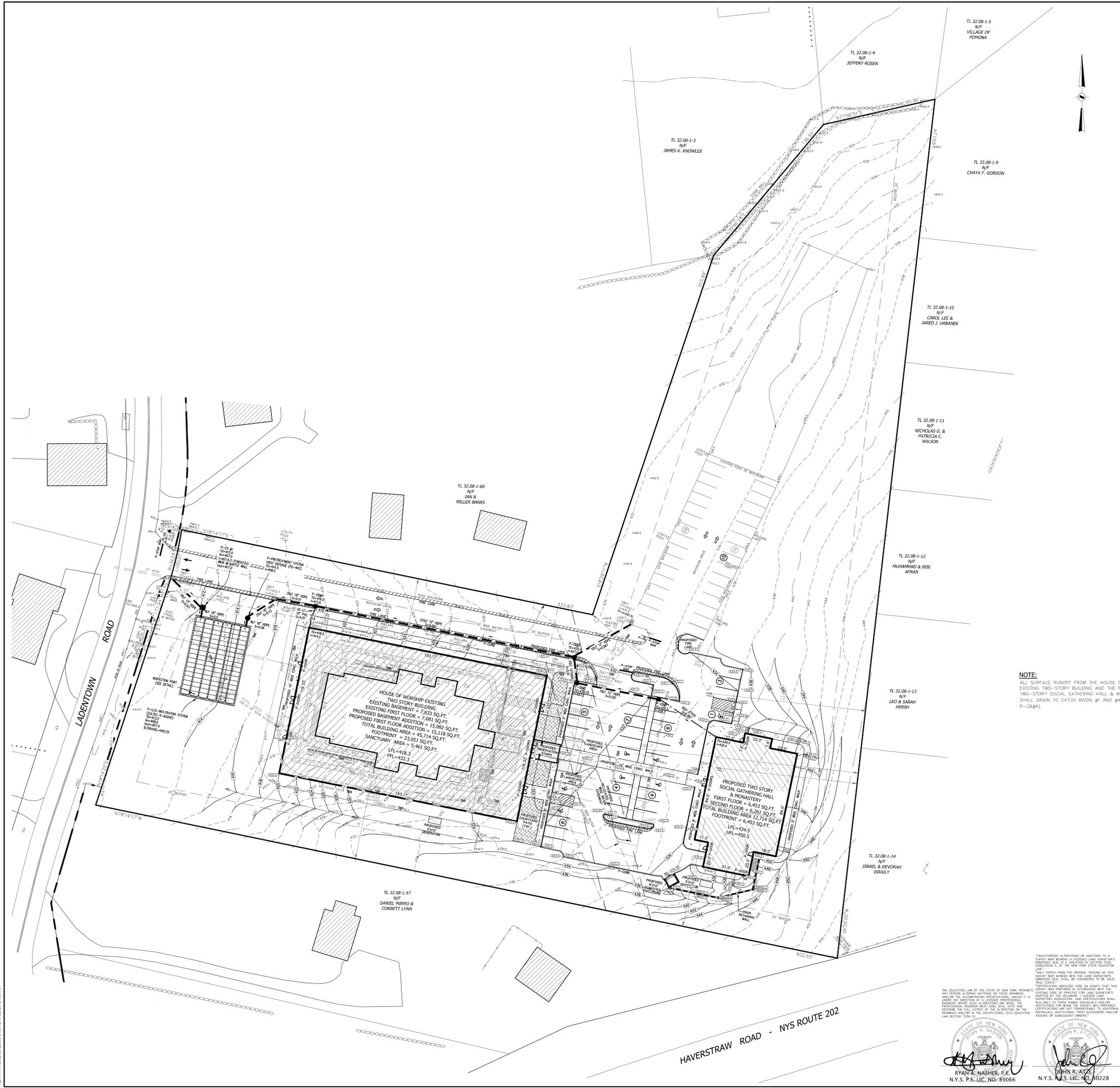
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL OR A VIOLATION OF SECTION 2008, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
 ONLY COPIES FROM THE ORIGINAL, BEARING THE SURVEYOR'S EMBOSSED SEAL, SHALL BE CONSIDERED TO BE TRUE COPIES.
 INFORMATION INDICATED HERE ON SOBBY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE ASSOCIATED CODES OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE ILLINOIS - ILLINOIS LAND SURVEYORS ASSOCIATION, SAID CERTIFICATIONS SHALL BE VOID ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED, AND/OR IN THE SPECIFICATIONS (NYS EDUCATION LAW SECTION 2008-2) GOVERNING SUCH INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSAISES OR SUBSEQUENT OWNERS.

STATE OF NEW YORK
 JOHN R. ATZL
 JOHN R. ATZL
 N.Y.S. P.E. LIC. NO. 89066
 N.Y.S. LIC. NO. 50228

P:\DRAWINGS\LESS LESS SITE PLAN\11-26-24.DWG

LEGEND

- 30' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- 360.0 --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING RAIL ROAD TIE WALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- UPL --- EXISTING UTILITY POLE
- TC --- TOP OF CURB
- DC --- DROP OF CURB
- TW --- TOP OF WALL
- BW --- BOTTOM OF WALL



HOUSE OF WORSHIP EXISTING
 TWO STORY BUILDING
 EXISTING BASEMENT = 7,833 SQ.FT.
 PROPOSED FIRST FLOOR ADDITION = 15,082 SQ.FT.
 TOTAL BUILDING AREA = 45,714 SQ.FT.
 FOOTPRINT = 23,051 SQ.FT.
 SANCTUARY AREA = 5,461 SQ.FT.
 LFL=418.3
 UFL=432.3

PROPOSED TWO STORY
 SOCIAL GATHERING HALL
 & MONASTERY
 FIRST FLOOR = 6,453 SQ.FT.
 SECOND FLOOR = 6,281 SQ.FT.
 TOTAL BUILDING AREA 12,734 SQ.FT.
 FOOTPRINT = 6,453 SQ.FT.
 LFL=424.5
 UFL=450.5

NOTE:
 ALL SURFACE RUNOFF FROM THE HOUSE OF WORSHIP
 EXISTING TWO-STORY BUILDING AND THE PROPOSED
 TWO-STORY SOCIAL GATHERING HALL & MONASTERY ROOF
 SHALL DRAIN TO CATCH BASIN #1 AND #4 (P-CB #1 AND
 P-CB#4).

REVISION	DATE	DESCRIPTION
4	11-26-24	REVISE PROJECT TITLE
3	7-22-24	PER DRAINAGE MITIGATION PLAN AND DETAIL
2	8-29-23	REV. BLDGS & PER TAC COMMENTS 8-9-23
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ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4894
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

PROJECT: **SRI RANGANATHA TEMPLE
 (RELIGIOUS CORPORATION)**

VILLAGE OF POMONA
 ROCKLAND COUNTY, NEW YORK

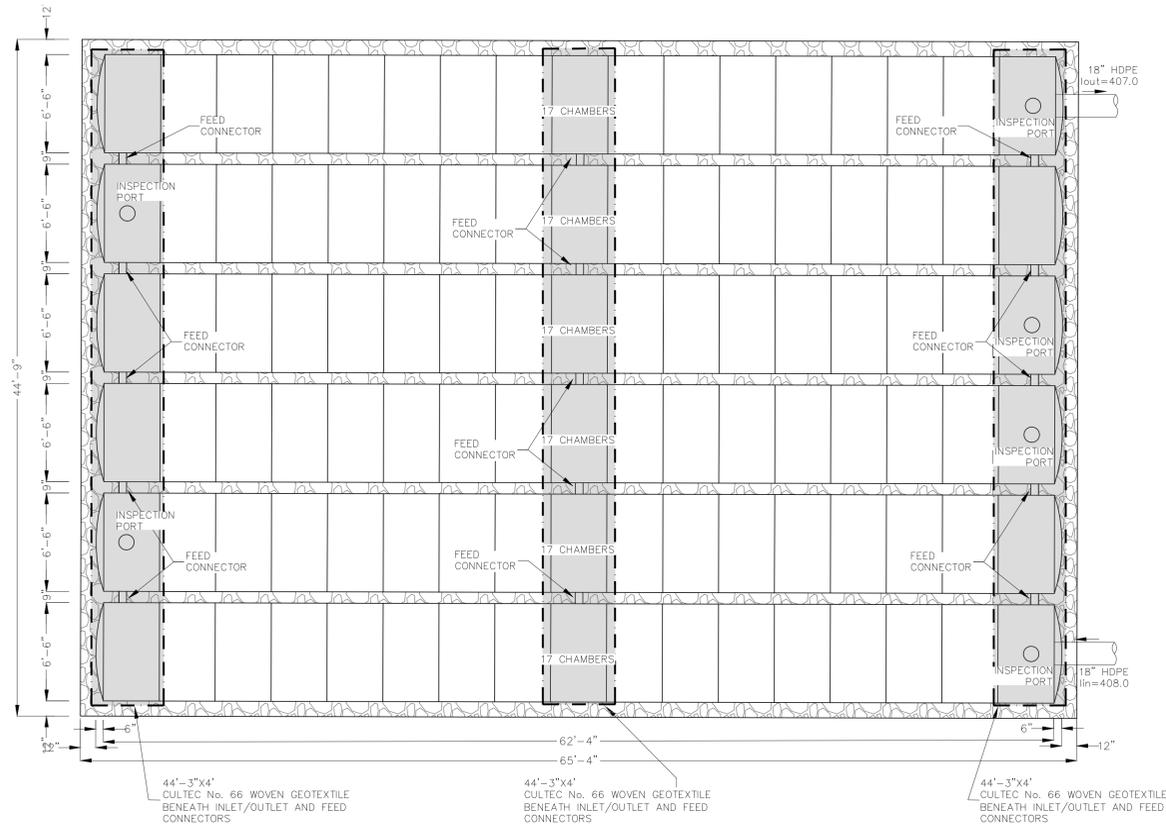
TITLE: **GRADING PLAN**

DRAWN BY: ED	CHECKED BY: JRA
DATE: JULY 22, 2024	SCALE: 1" IN. = 30' FT.
PROJECT NO: 1635	DRAWING NO: 3

STATE OF NEW YORK
 RYAN A. NASHER, P.E.
 N.Y.S. P.E. LIC. NO. 89066

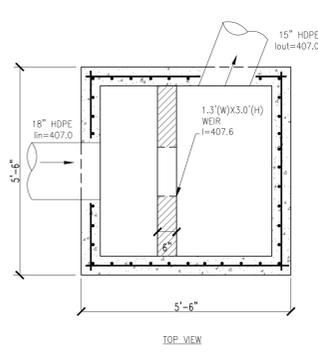
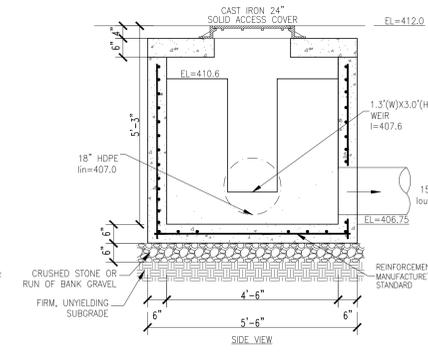
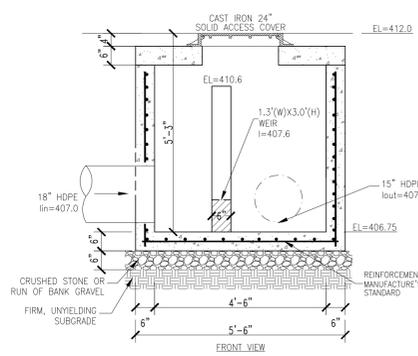
STATE OF NEW YORK
 JOHN R. ATZL, P.E.
 N.Y.S. P.E. LIC. NO. 50228

P:\DRAWINGS\LESS\LESS SITE PLAN\11-26-24.DWG



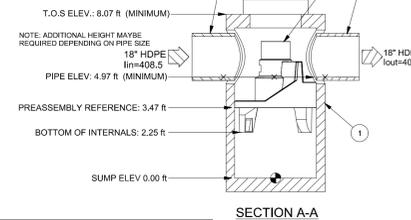
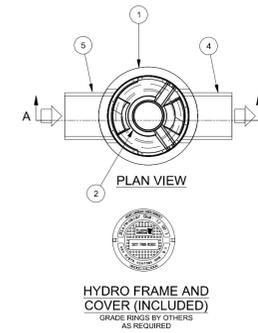
P-U/G INFILTRATION SYSTEM (CULTEC RECHARGER 902HD HEAVY DUTY) DETAIL

SCALE: 1"=5'



P-CS DETAIL

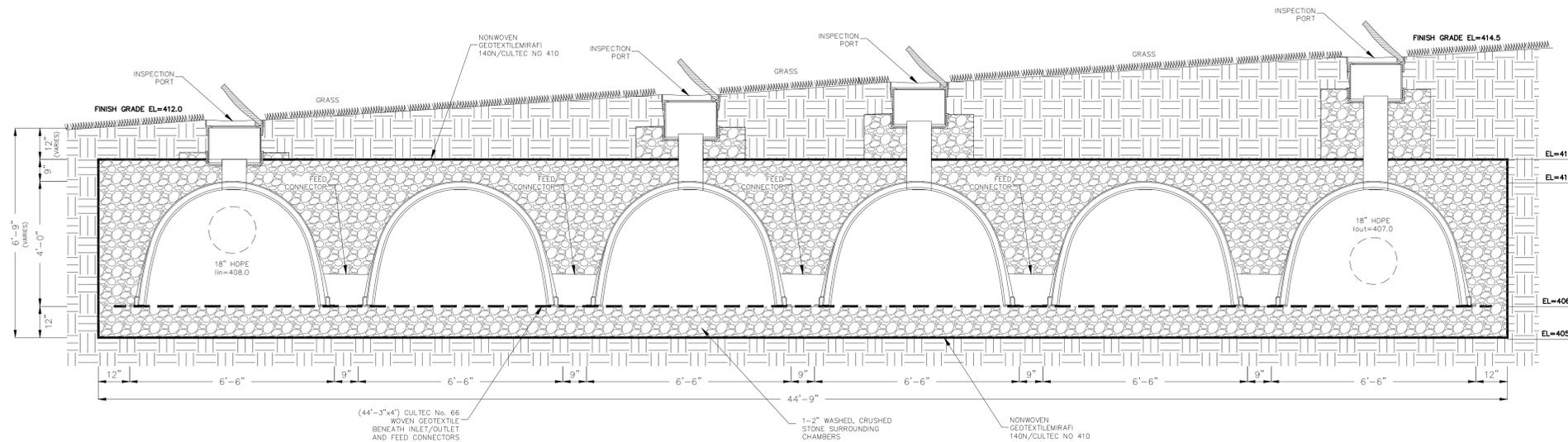
SCALE: 1/2"= 1'



ITEM	QTY	SIZE (in)	DESCRIPTION
1	1	48	I.D. PRECAST MANHOLE
2	1		INTERNAL COMPONENTS (PRE-INSTALLED)
3	1	30	FRAME AND COVER (ROUND)
4	1	24 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	24 (MAX)	INLET PIPE (BY OTHERS)

PRE-TREATMENT SYSTEM (FIRST DEFENSE FD-4HC OR EQUAL) DETAIL

N.T.S.



P-U/G INFILTRATION SYSTEM DETAIL

SCALE: 1"=2'

REVISION	DATE	DESCRIPTION
4	11-26-24	REVISE PROJECT TITLE
3	7-22-24	PER DRAINAGE MITIGATION PLAN AND DETAIL
2	8-29-23	REV. BLDGS & PER TAC COMMENTS 8-9-23
1	6-9-23	REV. BLDGS & PER TAC COMMENTS 2-8-23

AN&Z ATZL, NASHER & ZIGLER P.C.
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Web: www.ANZNY.com

PROJECT: **SRI RANGANATHA TEMPLE (RELIGIOUS CORPORATION)**

VILLAGE OF POMONA
ROCKLAND COUNTY, NEW YORK

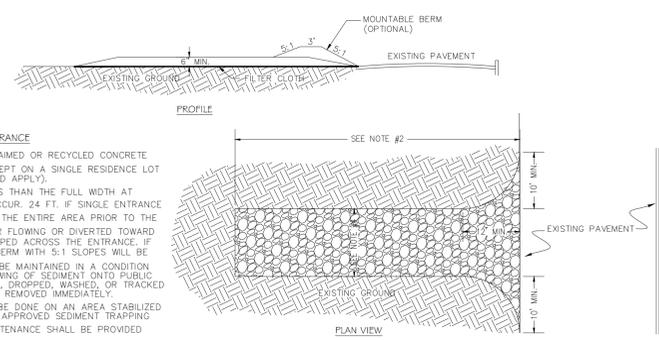
TITLE: **DETAILS**

DRAWN BY: ED	CHECKED BY: JRA
DATE: JULY 22, 2024	SCALE: 1" IN. = 30 FT.
PROJECT NO: 1635	DRAWING NO: 4

STATE OF NEW YORK
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
JOHN R. ATZL, P.E.
N.Y.S. P.E. LIC. NO. 50228

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL OR A REPRODUCTION THEREOF, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
ONLY COPIES FROM THE ORIGINAL, BEARING OF THIS EMBOSSED SEAL, SHALL BE CONSIDERED TO BE VALID. THESE COPIES.
NOTIFICATION IS HEREBY GIVEN TO ALL PERSONS THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EMBOSSED SEAL OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE ELLIOTT - HULLMAN LAND SURVEYORS ASSOCIATION, SAID CERTIFICATIONS SHALL BE VOID IF ANY INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED, DESIRES THE FULL EXTENT OF THE ALIENATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS, (NYS EDUCATION LAW SECTION 709(2))

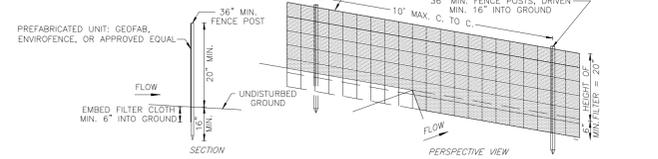


CONSTRUCTION ENTRANCE DETAIL #1
N.T.S.

- SPECIFICATIONS FOR CONSTRUCTION ENTRANCE**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE
 - LENGTH - NOT LESS THAN 50 FT. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FT. MINIMUM LENGTH WOULD APPLY)
 - WIDTH - 12 FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT
 - POINTS WHERE INGRESS AND EGRESS OCCUR. 24 FT. IF SINGLE ENTRANCE
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE MAINTAINED - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED

CONSTRUCTION NOTES FOR PRE-FABRICATED SILT FENCE

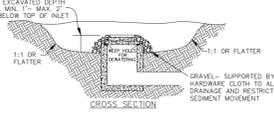
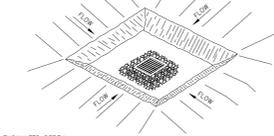
- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE



SILT FENCE DETAIL #4
N.T.S.

SPECIFICATIONS FOR STORM INLET PROTECTION

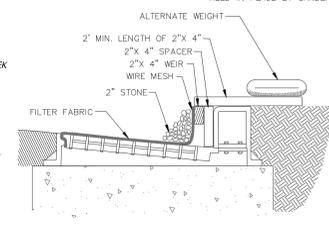
- SEDIMENT SHALL BE REMOVED AND THE TRAP RETURNED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE VOLUME OF SEDIMENT STORAGE SHALL BE 1800 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
- THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- ALL OUT SLOPES SHALL BE 1:1 OR FLATTER.



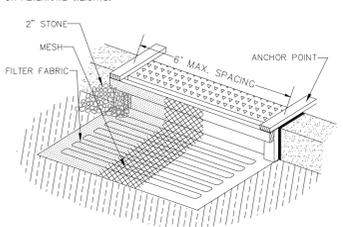
STORM INLET PROTECTION DETAIL #3

SPECIFICATIONS FOR CURB INLET PROTECTION

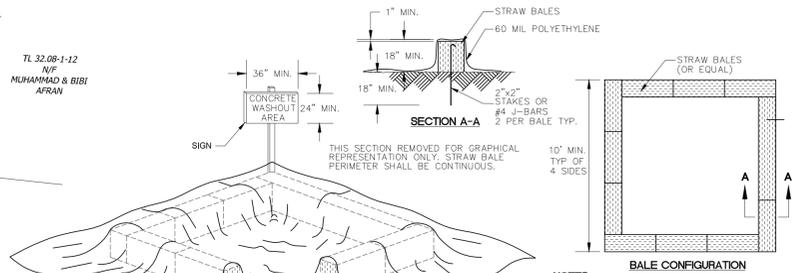
- FILTER FABRIC SHALL HAVE AN EDS OF 40-85.
- WOODEN FRAME SHALL BE CONSTRUCTED OF 2"x4" CONSTRUCTION GRADE LUMBER.
- WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30" MINIMUM WIDTH WITH A LENGTH 4" LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2"x4" WEIR.
- THE WEIR SHALL BE SECURELY NAILED TO 2"x4" SPACERS 9" LONG SPACED NO MORE THAN 6" APART.
- THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2"x4" ANCHORS 2" LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.



CURB INLET PROTECTION DETAIL #2
N.T.S.



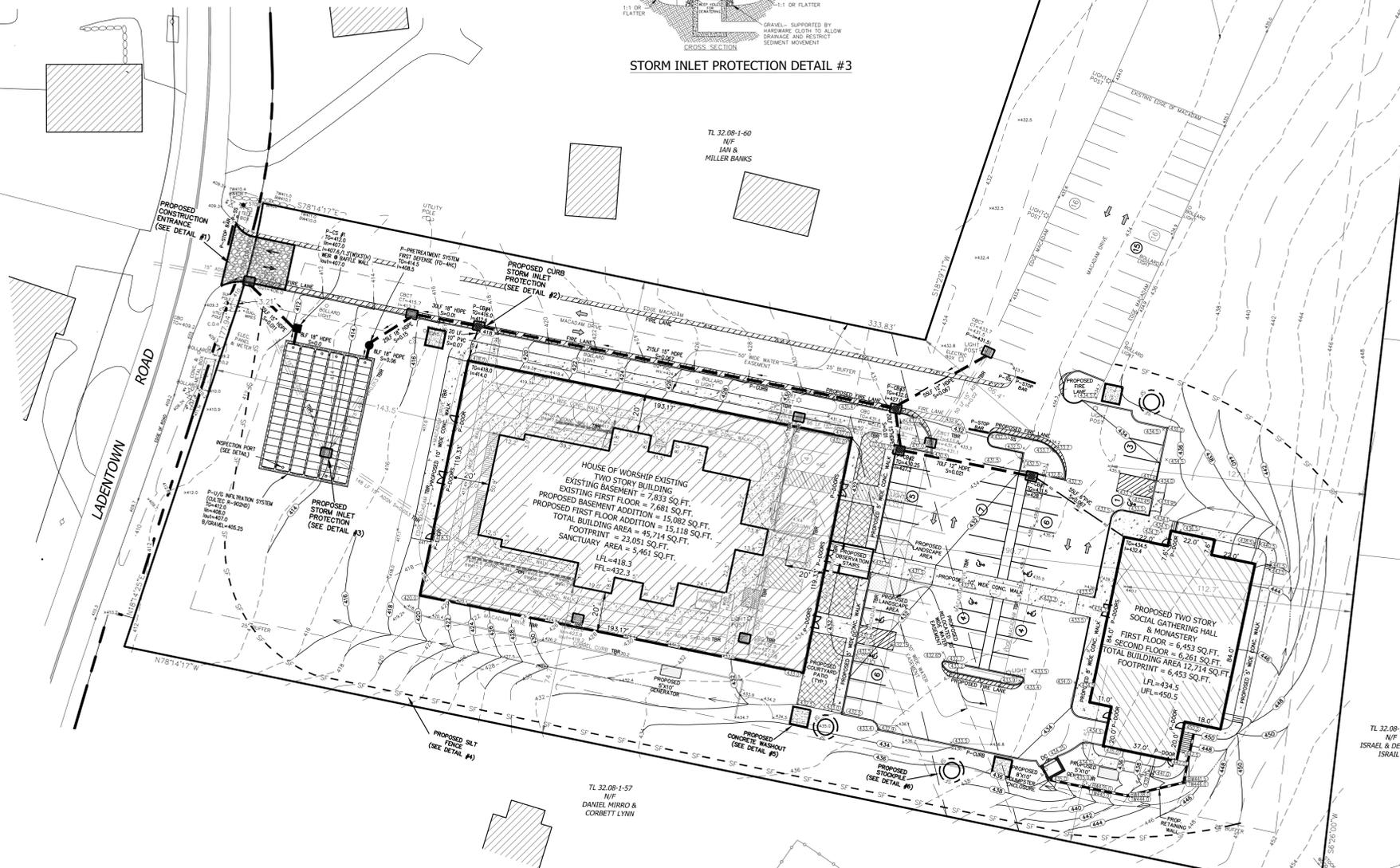
CONCRETE WASHOUT DETAIL #5
N.T.S.



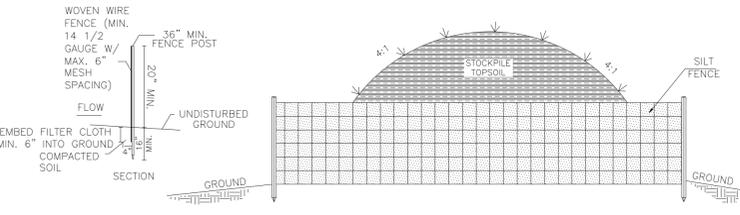
CONCRETE WASHOUT DETAIL #5
N.T.S.

NOTE:
IF THE CONTRACTOR CHOOSES NOT TO INSTALL THE CONSTRUCTION ENTRANCE, THE EXISTING ENTRANCE CAN BE USED TO ENTER AND EXIT THE CONSTRUCTION SITE. HOWEVER, THE EXISTING ENTRANCE SHALL BE SWEEPED AND VACUUM-CLEANED EVERY DAY BEFORE THE END OF THE CONSTRUCTION DAY.

NOTES:
1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT



STOCKPILE DETAIL #6
N.T.S.



REVISION	DATE	DESCRIPTION
4	11-26-24	REVISE PROJECT TITLE
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1	6-9-23	REV. BLDGS & PER TAC COMMENTS 2-8-23

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PROJECT:
SRI RANGANATHA TEMPLE (RELIGIOUS CORPORATION)

**VILLAGE OF POMONA
ROCKLAND COUNTY, NEW YORK**

EROSION & SEDIMENT CONTROL PLAN

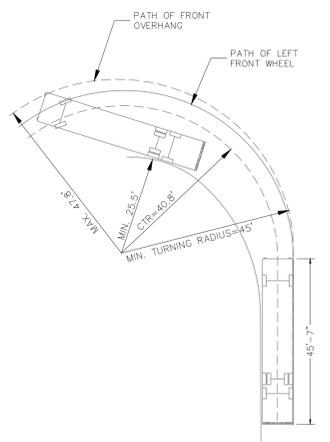
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DATE: JULY 22, 2024	SCALE: 1 IN. = 30 FT.
PROJECT NO: 1635	DRAWING NO: 5

ATZL, NASH & ZIGLER P.C.
RYAN A. NASH, P.E.
N.Y.S. P.E. LIC. NO. 89066

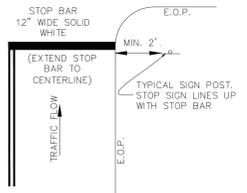
ATZL, NASH & ZIGLER P.C.
JOHN R. ATZL
N.Y.S. S.L.C. NO. 80228

LEGEND

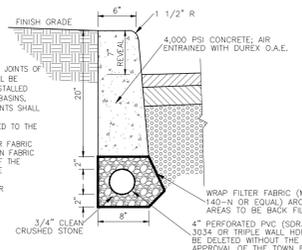
- 2' CONTOUR
- 10' CONTOUR
- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING GAS LINE
- EXISTING CATCH BASIN
- EXISTING STORM DRAIN LINE
- EXISTING SEWER MANHOLE
- EXISTING SEWER LINE
- EXISTING SPOT ELEVATION
- EXISTING STONEWALL
- EXISTING RAIL ROAD WALL
- EXISTING SIGN
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING UTILITY & LIGHT POLE
- TOP OF CURB
- DROP OF CURB
- TOP OF WALL
- BOTTOM OF WALL
- PROPOSED STOP SIGN
- PROPOSED STOP BAR



FIRE TRUCK TURNING RADIUS DETAIL
SCALE: 1"=20'

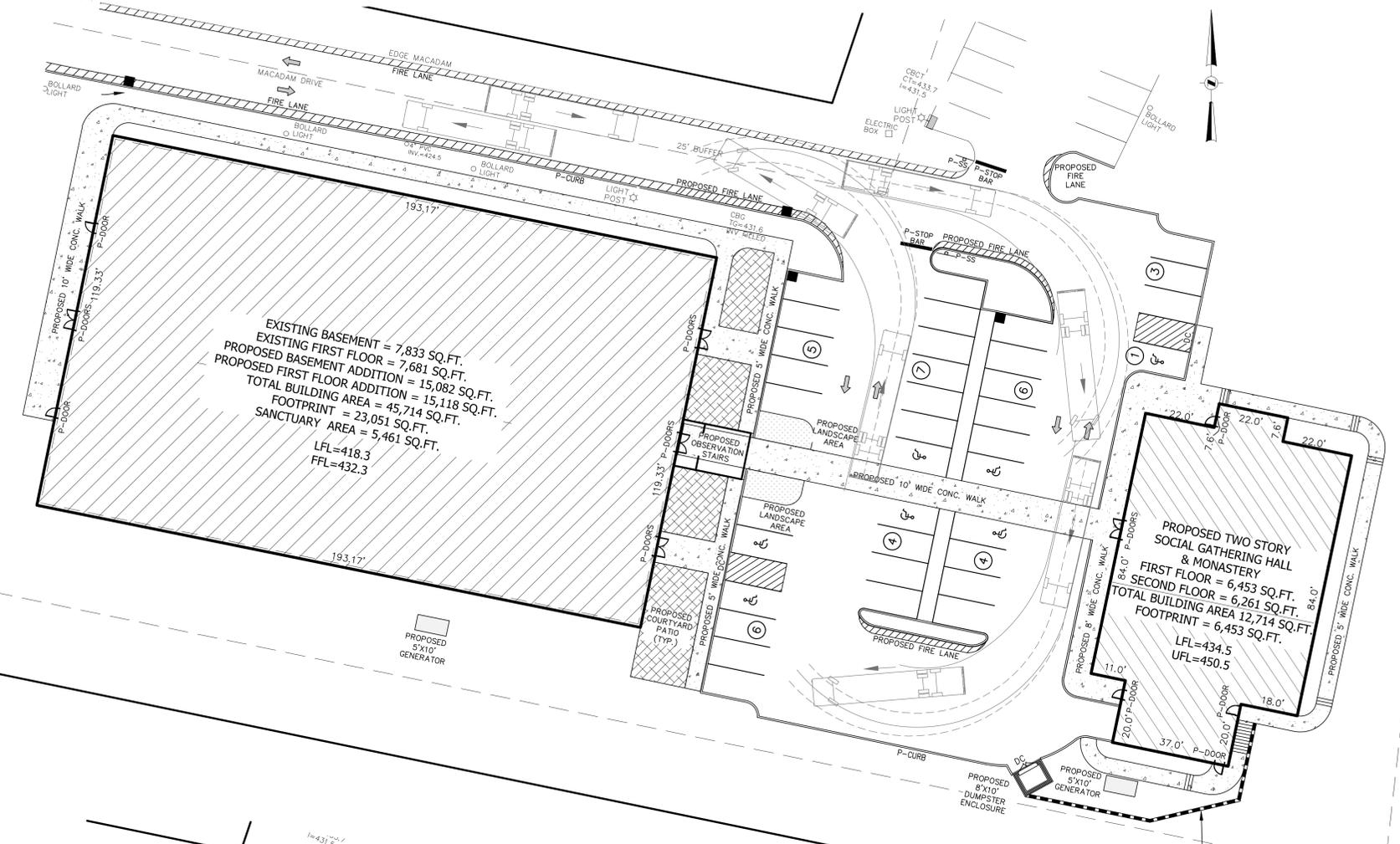


STOP BAR DETAIL
N.T.S.

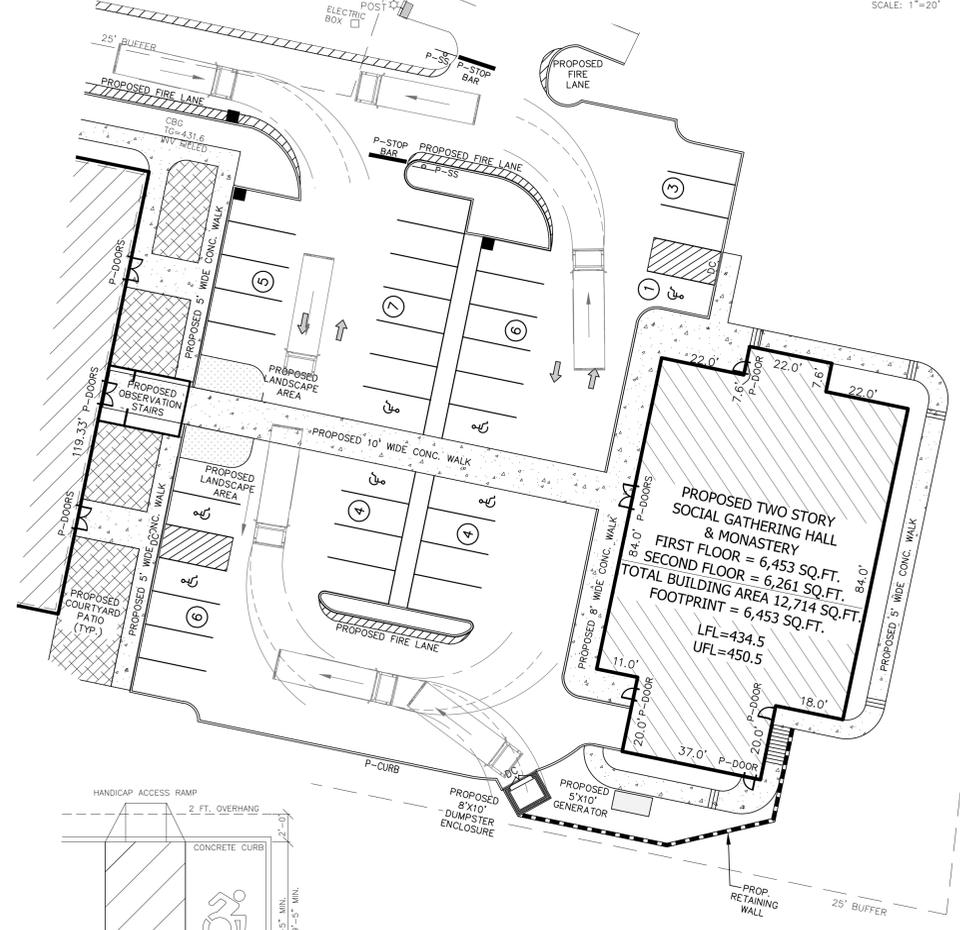


CONCRETE CURB AND UNDERDRAIN DETAIL
N.T.S.

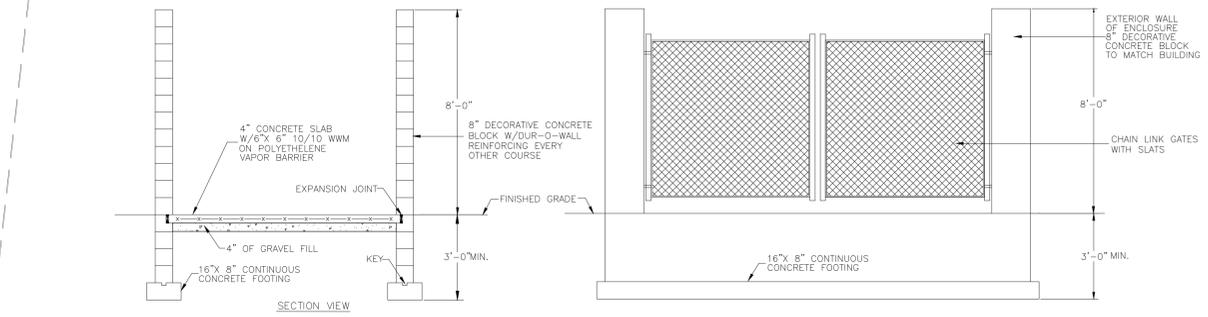
- NOTE:
- CURB SHALL BE CAST IN PLACE. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED @ 10' INTERVALS AND SHALL BE INSTALLED WHERE REQUIRED (AT CURB BOXES, CATCH BASINS, BRIDGES, ETC.) CONTRACTION (CONTROL) JOINTS SHALL BE INSTALLED @ 10' INTERVALS.
 - ALL UNDERDRAIN PIPES SHALL BE CONNECTED TO THE NEAREST CATCH BASIN.
 - IN LIEU OF THE SPECIFIED GEOTEXTILE FILTER FABRIC ENVELOPE, AN UNDERDRAIN PIPE WRAPPED IN FABRIC MAY BE SUBSTITUTED AT THE DISCRETION OF THE SUPERINTENDENT OF HIGHWAYS.
 - UNDERDRAIN BACKFILL DEPTH TO BE 10" FOR COMMERCIAL STREETS.



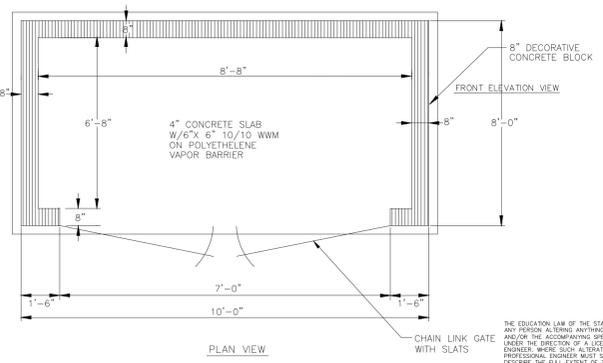
FIRE TRUCK TURNING PLAN
SCALE: 1"=20'



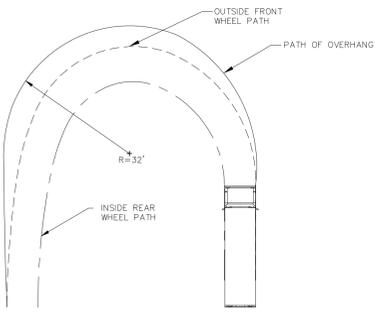
GARBAGE TRUCK TURNING PLAN
SCALE: 1"=20'



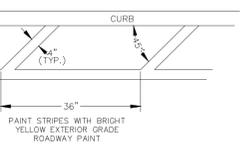
SECTION VIEW



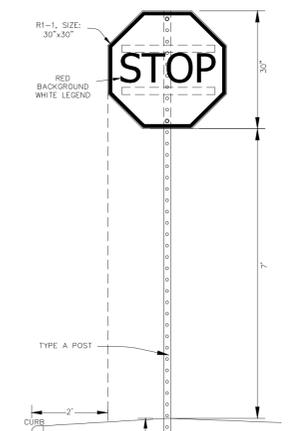
REFUSE DUMPSTER ENCLOSURE DETAIL
N.T.S.



GARBAGE TRUCK TURNING RADIUS DETAIL
SCALE: 1"=20'



FIRE LANE STRIPING DETAIL
N.T.S.



STOP SIGN DETAIL
N.T.S.

REVISION	DATE	DESCRIPTION
4	11-26-24	REVISE PROJECT TITLE
3	7-22-24	PER DRAINAGE MITIGATION PLAN AND DETAIL
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1	6-9-23	REV. BLDGS & PER TAC COMMENTS 2-8-23

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PROJECT: **SRI RANGANATHA TEMPLE (RELIGIOUS CORPORATION)**
VILLAGE OF POMONA ROCKLAND COUNTY, NEW YORK

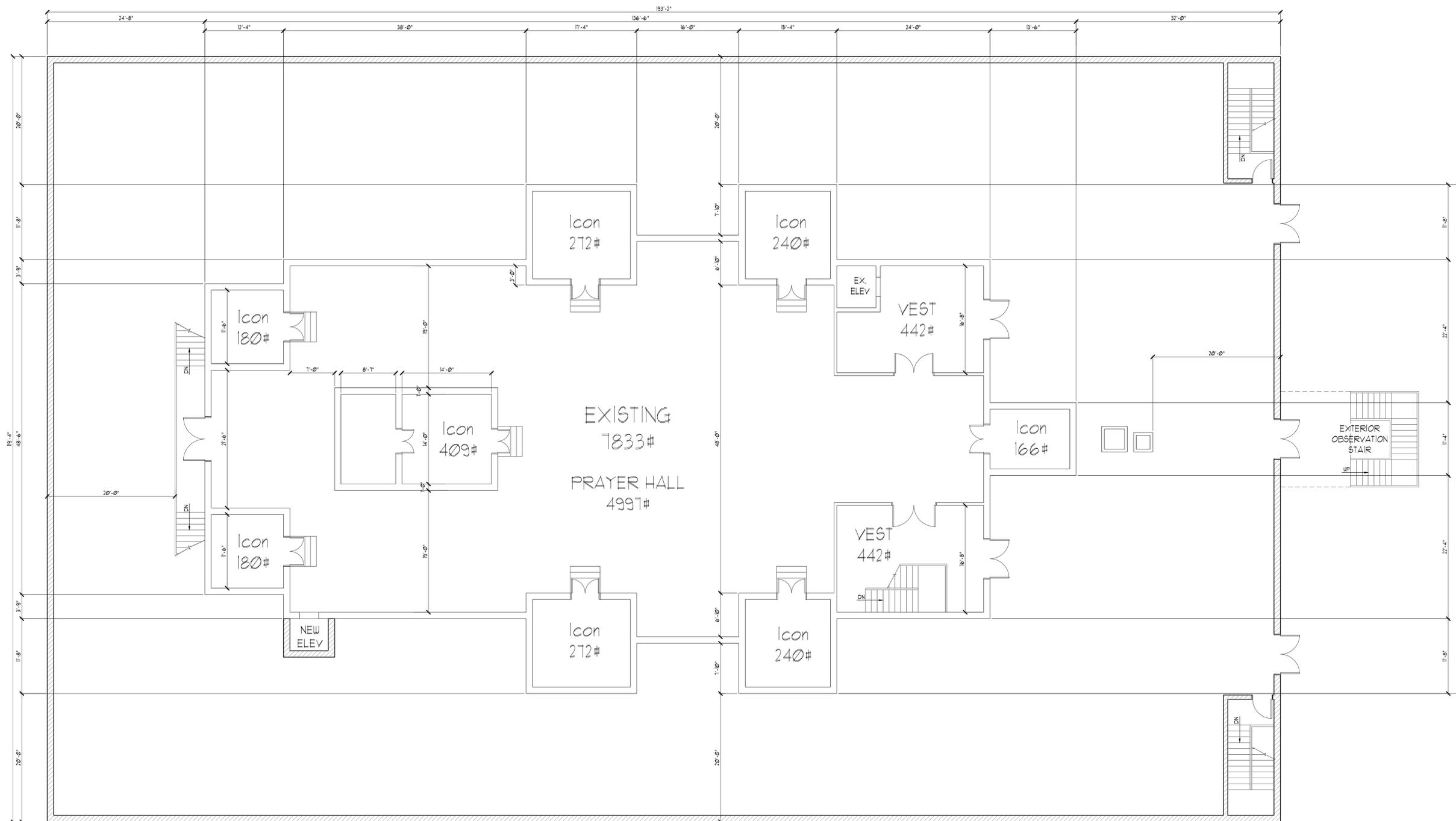
FIRE TRUCK ACCESS PLAN

DRAWN BY: ED
DATE: JANUARY 19, 2023
PROJECT NO: 1635

CHECKED BY: JRA
SCALE: AS SHOWN
DRAWING NO: 6



P:\DRAWINGS\LESS LESS SITE PLAN\11-26-24.DWG



EXISTING FLOOR AREA = 7681#
PROPOSED ADDITION = 15,118#
PROPOSED TOTAL = 22,799#

SANCTUARY 5461#
ICON ROOM 1966#
SUPPORT 232#
CIRCULATION 1003#

KEY
 EXISTING PARTITION
 PROPOSED PARTITION

1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



TAC SUBMISSION
9/11/24
NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

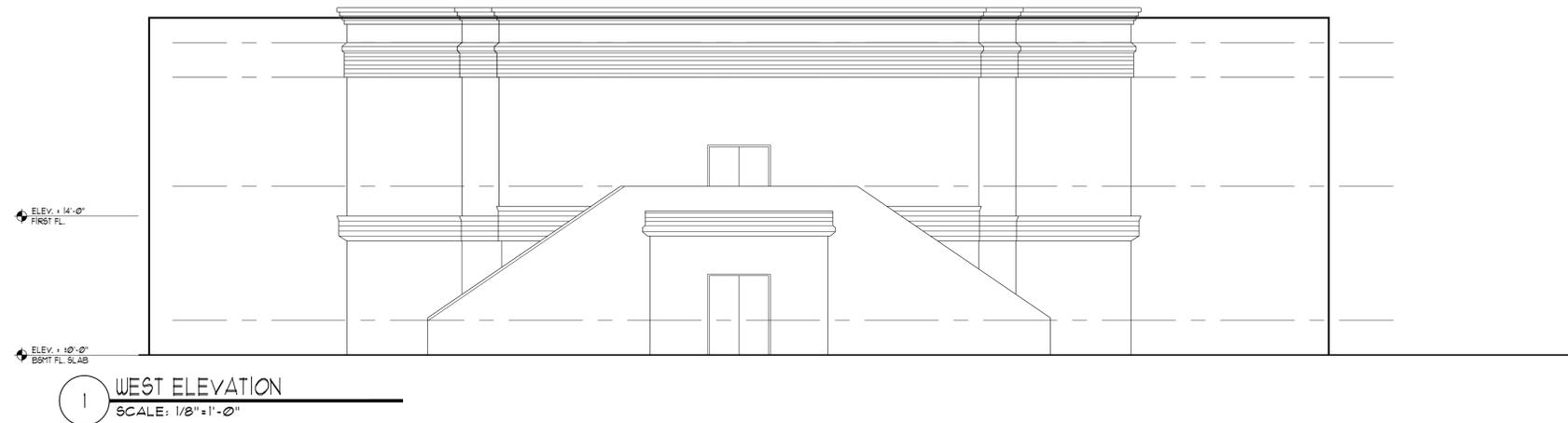
PROJECT TITLE:
PROPOSED ADDITION FOR:
Sri Ranganatha
Hindu Temple
8 Ladentown Road
Pomona, New York 10970

DRAWING TITLE:
SCHEMATIC PROPOSED
FIRST FLOOR PLAN

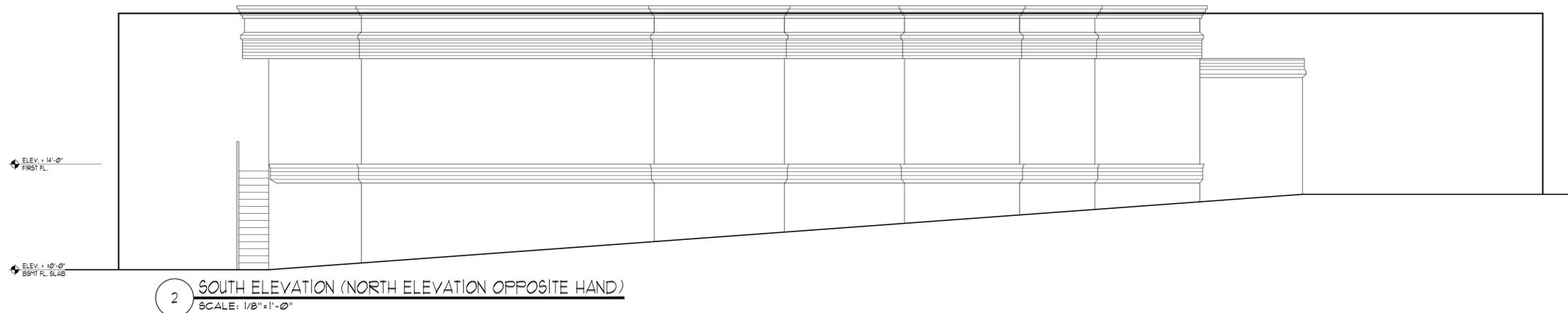
DRAWN BY: IL	PROJECT NO.: 2208
CHECKED BY: JD	

SEAL:	DRAWING NO.: A-301
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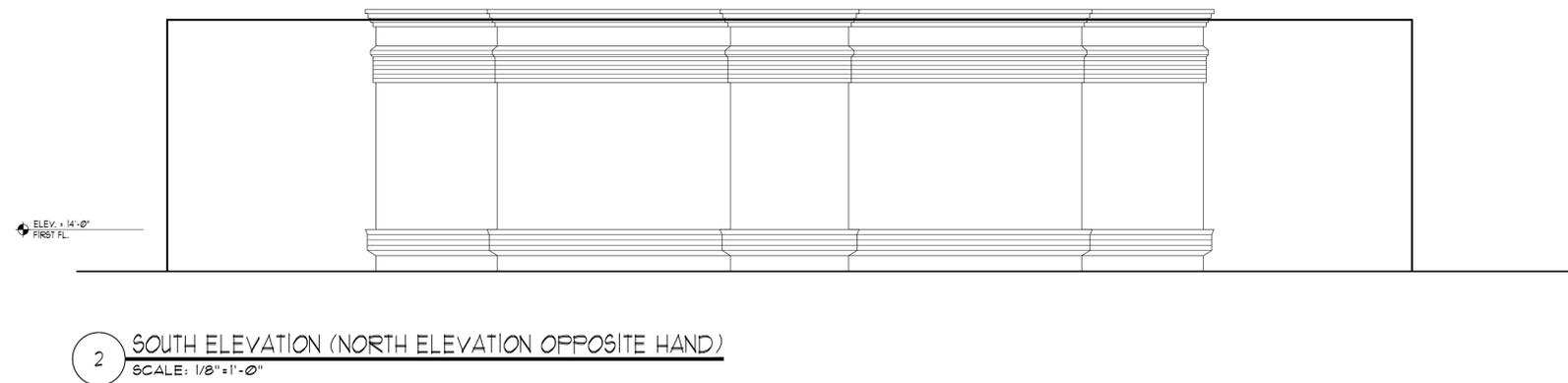
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1 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION (NORTH ELEVATION OPPOSITE HAND)
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION (NORTH ELEVATION OPPOSITE HAND)
SCALE: 1/8"=1'-0"

TAC SUBMISSION
9/11/24
NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED ADDITION FOR:
Sri Ranganatha
Hindu Temple
8 Ladentown Road
Pomona, New York 10970

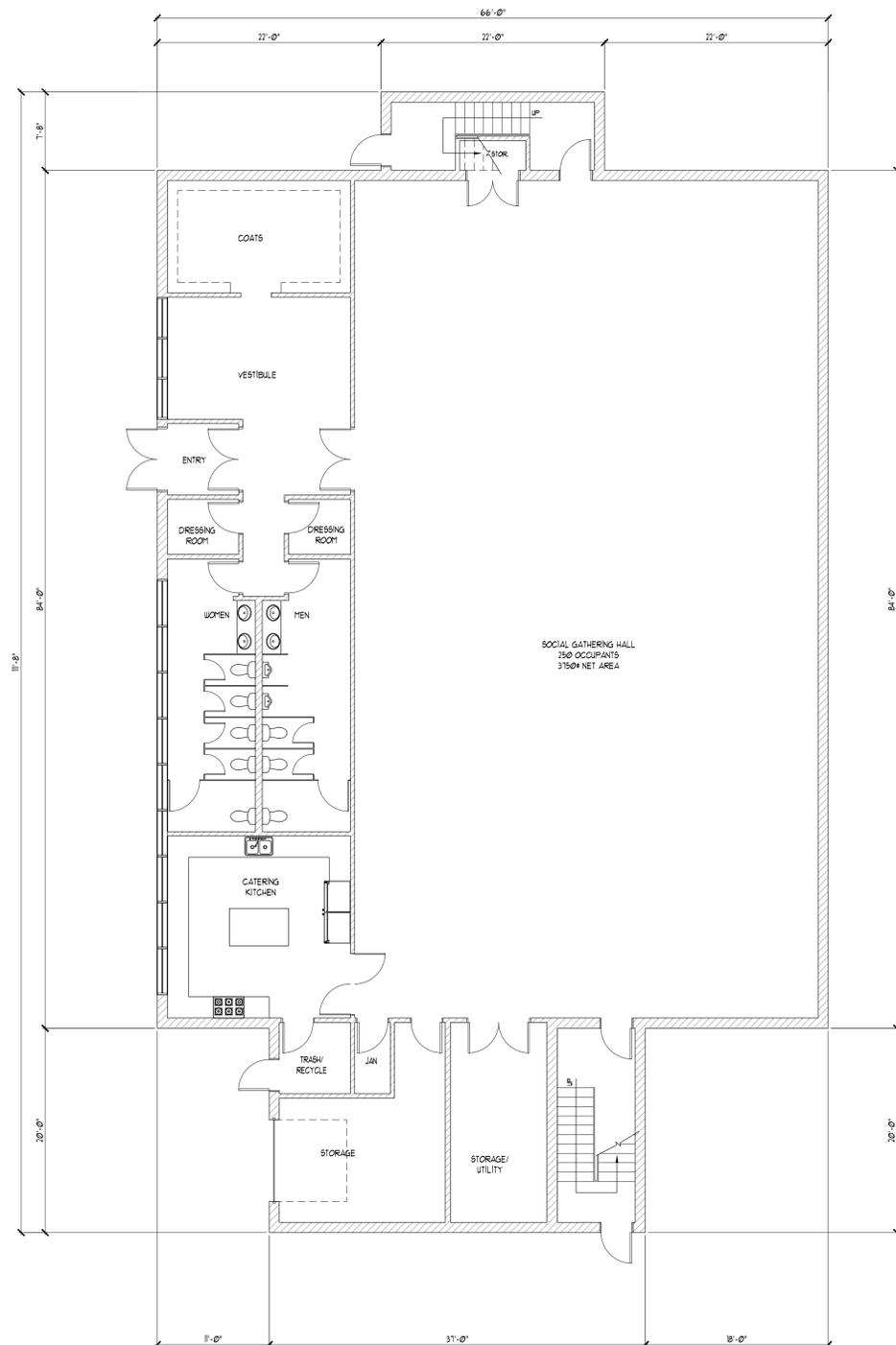
DRAWING TITLE:
PROPOSED ELEVATIONS

DRAWN BY: IL	PROJECT NO.: 2208
CHECKED BY: JD	

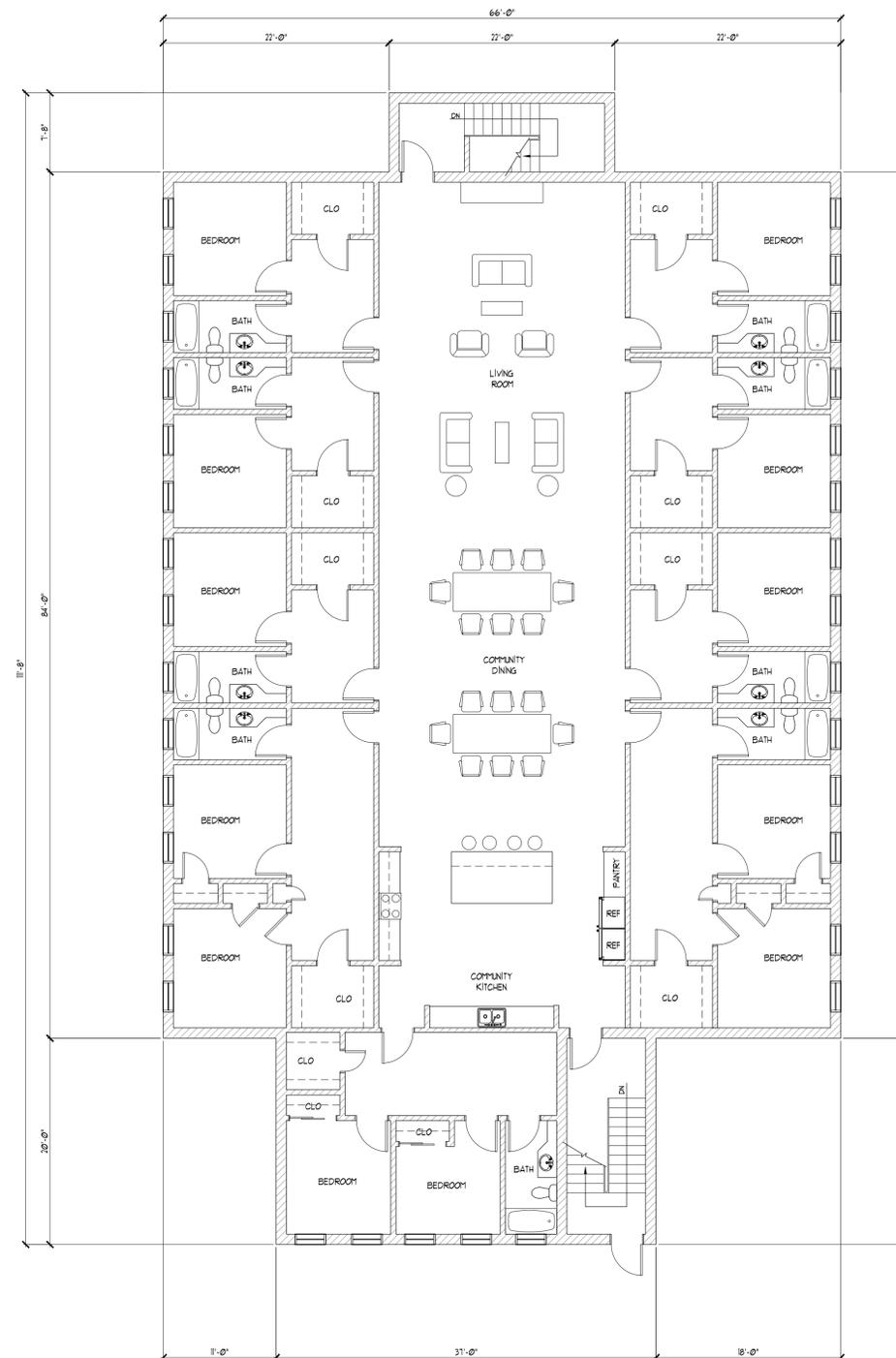
SEAL:	DRAWING NO.: A-500
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TAC SUBMISSION
9/11/24
NOT FOR CONSTRUCTION



1 LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0" 6453*



NOTE:
THE MONASTERY NOT TO EXCEED 16
OCCUPANTS.
THE MONASTERY IS AN ACCESSORY
USE TO THE HINDU TEMPLE

2 UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0" 6261*

NO.	DATE	DESCRIPTION

PROJECT TITLE:
PROPOSED SOCIAL HALL FOR:
Sri Ranganatha
Hindu Temple
8 Ladentown Road
Pomona, New York 10970

DRAWING TITLE:
SCHEMATIC PROPOSED
LOWER & UPPER
FLOOR PLANS

DRAWN BY: IL	PROJECT NO. 2208
CHECKED BY: JD	

SEAL:	DRAWING NO. SK-1B
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ATZL, NASHER & ZIGLER P.C.

ENGINEERS - SURVEYORS - PLANNERS

Web: www.anzny.com

Revised November 26, 2024

July 22, 2024

September 5, 2023

June 9, 2023

January 23, 2023

Sri Ranganatha Temple (Religious Corporation)

Narrative Summary

Project Location

This site is identified on the Village of Pomona Tax Map as Section 32.08 Block 1 Lot 59 and is zoned R-40. It is located at 8 Ladentown Road, with access to the site off Ladentown Road.

Existing Conditions

The existing site is approximately 4.7 acres, and there is a two-story (existing basement floor is 7,833 sq. ft. and existing first floor is 7,681 sq. ft.) community house of worship known as Sri Ranganatha Temple (which is a religious corporation) along with 87 parking spaces onsite, concrete walkway, and a barn.

Currently the temple consists of a prayer area on the first floor. The basement floor consists of two small classrooms, utility room, electrical room, and storage room along with kitchen and dining space, and a single room for the guru, who is a renunciated Hindu sanyasi, similar to a monk.

Need for Proposed Expansions

In the Hindu religious practice, it is customary for devotees to walk around the temple while praying, often barefoot. On special holidays, as noted in Table 3 (dates vary every year as the Applicant follows the lunar calendar), a procession should ideally start and continue in the

streets of the Village. However, in order not to disturb the neighbors and residents, the temple restricted the procession to go only around the temple. Currently these processions take place twice a year - during the anniversary of the temple called *Brahmotsavam* (June - July) six (6) times on foot and one time on a chariot, and on *Vaikuntha Ekadashi* (December – January) one time on foot. Additionally, the temple is required to conduct an additional sixteen (16) processions on various days of religious significance in a year. These are currently taking place inside the prayer hall. Several of these processions fall during fall and winter months making it difficult to conduct around the temple due to the weather conditions. This expansion will allow the temple to organize all the processions on various occasions of religious significance. Without the expansion, specifically the proposed enclosed corridor around the temple, hinders the temple’s ability to organize these religiously significant processions, thereby limiting the devotee participation and the temple’s long-term progress.

On the special occasion of *Vaikunta Ekadashi*, per Hindu religious practice, priests must be barefoot and dressed scantily in *veshtis*. They carry the idol of God on their shoulder and walk around the temple (see photos below). Devotees are barefoot as well, and follow the priests in procession. It is challenging for priests and devotees to carry out these processions, especially during winter months without an enclosed space offering respite from the weather outdoors, particularly cold wind and snow. If the proposed expansion is approved, the processions will be held entirely within the expanded temple enclosure. There will be no disturbance to the general public or neighbors.



Proposed Action

The Applicant proposes to expand the temple to provide an enclosed corridor for processions on the first floor. This procession enclosure will result in a 15,118 sq. ft. addition to the first floor. The sanctuary is 5,461 sq ft. Note that the sanctuary area calculation excludes the areas of the icon rooms (shrines), circulation space, and support space. The Applicant also proposes to add approximately four additional classrooms and four storage rooms, two restrooms, two rooms for shoes and coats, two elevators, library and offices on the basement level. This will result in a 15,082 sq. ft. addition to the basement floor, bringing the total building area to 45,714 sq. ft. However, the entire first floor consisting of 15,118 square feet will only be an enclosed corridor space for the processions. Further, the Applicant is not requesting any expansion of the sanctuary/prayer hall areas.

Additionally, the Applicant also wishes to construct a two-story building on site. The lower floor of the proposed new building will serve as an accessory use of a social gathering hall for the congregation. The upper floor of the proposed new building will serve as the accessory use of a monastery to house unrelated non-transient priests who serve the congregation and in some instances their spouses. There will be no more than 16 resident occupants in the monastery. The proposed building has a total building area of 12,714 sq. ft.

The proposed expansions and structures will meet all State requirements for a place of public assembly, including Fire Prevention and Building Code.

Also note: a reduction in off-site traffic is expected due to the on-site proximity of the social gathering hall to the Temple, which will eliminate the need for a mass exodus of cars from the site after a ceremony to attend a social gathering off-site. There are 67 parking spaces proposed.

This application requires Special Permit Approval from the Village of Pomona Board of Trustees along with some variances.

Required Variances

The requested variances are outlined below:

<i>Variance</i>	<i>Required/ Permitted</i>	<i>Existing</i>	<i>Proposed</i>
Max. Building Coverage	10%	4.2%	14.2%
Maximum Lot Coverage	25%	26%	34.5%

Temple Attendance

Temple visitors and memberships are not anticipated to increase significantly. In the last few years, there was no increase in temple membership. The proposed expansions aim to address the needs of the temple priests and members, and cater to the demand of existing temple devotees and their families. Since the temple will be expanding in area due to the proposed additions, the Applicant is providing more parking as per Village code.

Attendees are expected to arrive throughout the day during the temple hours of operation (not at any specific hour or time frame). For weekdays the projected temple attendance is 10-50, and for weekends and public holidays the projected temple attendance is 50-100. Tables 1 and 2 provide information on temple hours of operation and daily *pooja*/prayer schedule.

During most processions, approx. 15-50 attendees are expected to arrive at the premises. For *Vaikunta Ekadashi*, the projected temple attendance is 50-100 and for *Brahmotsavam*, the projected temple attendance is 100-150. For other days of cultural significance, approximately 75-100 attendees are expected to arrive on the premises. Refer to Tables 3 and 4 for more information on these events.

Temple Use: Classroom Activities

Currently, there is one religious class held on Saturday for children. This class is held anytime between 10:00 AM-5:00 PM (typically between 11:00 AM - 2:00 PM), and the session lasts for 1-2 hours.

The proposed classrooms will be used for music lessons and religious instructions for children. There will be 2-3 additional classes on the weekend and approximately 10 children will attend each class. Classes may take place on some holidays as well.

Temple Use: Indoor Activities

All the above described activities shall be conducted indoors within the expanded temple area. Currently the Applicant could not offer some of these services due to weather restrictions, and lack of space. This restricts the Applicant's ability as well as temple patron's ability, to practice religious customs and ceremonies and exercise their religious freedoms.

Musical instruments like clarinets, flutes and percussion drums are played during the annual *Brahmotsavam* procession. This will be restricted to the proposed indoor processions once the expansion is approved.

The statements and numbers described in this document are estimates, but they should provide you with an understanding of the operation and the intended use of this facility.

We wish to thank you for your time and consideration.

Table 1. Temple Hours of Operation		
Days	Times	Projected Attendance
Monday-Thursday	8:00 AM to 12:00 Noon 4:00 PM to 8:00 PM	10-50
Friday	8:00 AM to 12:00 Noon 4:00 PM to 8:00 PM	10-50
Saturday, Sunday & Public Holidays	8:00 AM to 8:00 PM	50-100
Information taken from the Sri Ranganatha Temple website: http://www.ranganatha.org/timing-location Note: Not all 10-50 attendees visit the temple at once. Attendees are welcome to visit the premises between these times.		

Table 2. Typical Daily Pooja Schedule	
Timing	Pooja Details
8:00 AM	Morning <i>Aarti</i> Schedule
8:00 AM	<i>Viswaroopa Seva (Thirupalliezuchi , Suprabhata Seva at all Sannithis)</i>
8:30 AM	<i>Abhigamana Aradhana (Prabhandha/Veda parayanam and Ashtottara nama Archana)</i>
10:00 AM	<i>Thirumanjanam (as per Monthly Thirunakshathra schedule)</i>
7:00 PM	<i>Saayam Aradhana (Vishnu Sahasranama & Mahalakshmi Sahasranama Archana)</i>
Additional Special Pooja - Friday	
8:00 PM	<i>Sri Mahalakshmi Pooja (chanting of Ashtottara Shata-Nama-Strotram 11 times)</i>
Alternate and/or Additional Special Pooja - Saturday	

8:00 AM	<i>Suprabhata Seva & Darshan</i>
9:00 AM	Chanting of <i>Sri Desika slogams</i> and prayers to <i>Sri Hayagriva, Sri Ranganatha, Sri Lakshmi Narasimha, Sri Rama, Sri Krishna, Sri Venkateswara, Sri Mahalakshmi, Sri Andal, Sri Sudarsana and Sri Garuda</i>

* Information taken from the Sri Ranganatha Temple website:

http://www.ranganatha.org/events/daily_pooja_schedule

Table 3. Proposed Annual Procession Schedule

Event Details	Event Occurrence	Times	Projected Attendance
<i>Vaikunta Ekadashi*</i>	Mid-December and Mid-January	Timings vary; typically, between 10AM and 7 PM	50-100
<i>Brahmotsavam*</i>	June-July		100-150
<i>Sri Godha Devi & Sri-Ranganatha Uthsavar Nava Kalasa Snapanam</i>	January		Varies; approx. 15-50
<i>Rathasaptam</i>	February/March		
<i>Sri Ranganatha Birthday</i>	March		
<i>Sri Aandaal Thiru Nakshatram (Aadi-Puuram)</i>	July/August		
<i>Sri Jayanthi Bhagavan Sri Krishna Incarnation</i>	August/September		
<i>Sri Mahalakshmi Navaratri Celebrations</i>	September/October		
<i>Karthik Pournami Satya-Narayana Pooja</i>	October/November		
<i>Deepavali & Sri Dhanalakshmi Pooja</i>	October/November		
<i>Annakuuta Utsav</i>	October- November		
<i>Hanuman Jayanthi</i>	November-December		
<i>Dhanurmaasa Pooja</i>	December		

*Currently, only 8 out of 24 processions are being held outside the temple, depicting limited religious practices and temple operations. The Temple would ideally like to have processions on all days of religious importance. The proposed expansion will allow all the above proposed procession schedule.

Table 4. Other Days of Cultural Significance - Schedule

Event Details	Event Occurrence	Times	Projected Attendance
New Year's Day	January	Timings vary; typically, between 10AM and 7 PM	75-100
<i>Aaalvar Thirunaksharram</i> Days	April		
<i>Satyanarayan Pooja</i>	May		
<i>Navaratri</i> Days	September		



NARRATIVE

Sri Ranganatha Temple Addition and new Social Gathering Hall

August 28, 2023

Although it is not anticipated that the congregation will grow, Sri Ranganatha Hindu Temple wishes to enhance the services it offers its religious congregation. As such, it plans to enlarge the existing temple building and to construct a new building to house functions accessory to the primary use of community prayer. These functions are intended to serve the present needs of the existing congregation. The temple building will be widened approximately twenty feet on each side to create a weather-protected ring in which a large chariot will be drawn in a celebration of the Vaikunta Ekadashi procession.

The lower level addition will contain classrooms for religious education, offices for the temple's administrative needs, a library to serve the Sunday religious school program as well as archives of Hindu Scripture. The balance of the additional basement space will serve storage needs.

The function of the lower level of the proposed new building will be as a festive social gathering hall for congregants to celebrate the culmination of certain religious ceremonies such as marriage and holy day events. The hall will accommodate no more than 250 participants seated at tables.

This function will actually eliminate potential traffic congestion since celebrations can occur without off-site automobile migration.

The second level of the proposed new building will house another use accessory to the temple: housing its spiritual leaders. Presently those priests and – for those who are married – their spouses and young children – live off-site in local multi-family housing. The benefit will be the immediate cost-savings associated with off-site housing, proximity to the temple, and the aggregate support for spiritual leaders in one locus. This shared space is best defined in the text of the 2020 NYS Building Code:

CHAPTER 3 OCCUPANCY CLASSIFICATION AND USE DESIGNATION, Section 310
Residential Group R, Paragraph 310.4: Residential Group R-3 occupancies where the occupants are primarily permanent in nature and not classified as Group R-1, R-2, R-4 or I, including: . . . congregate living facilities (non-transient) with 16 or fewer occupants [such as] monasteries.

In our opinion, a monastery limited to 16 or fewer non-transient priests and family members should fit this definition, as well as a use accessory to a temple or church.

Per Village of Pomona Zoning Code, Chapter 130, Section 130-10 Special Permit Uses, Paragraph G, a house of worship is allowable by Special Permit of the Zoning Board of Appeals.

Per Section 130-11, Accessory Uses, Paragraph G allows “the conduct of non-commercial regularly scheduled gatherings of persons which are incidental to and secondary to the use of the premises as a single residence, provided such use complies with the NYS Fire Prevention and Building Code [sic]* relating places of assembly and occupancy limitations, if applicable.”

**As a side bar, the title “NYS Building and Fire Prevention Code” is no longer in use. At some point, the village may wish to amend its code by replacing that title with “NYS Building Code, latest edition”, or similar language.*

Both the proposed social gathering hall and the restricted occupancy, narrowly defined monastery would be such uses. (Although the term “monastery” cannot be found in the Zoning Code, such accessory use is not prohibited.)

Both accessory uses of the proposed new building will reduce off-site vehicular and pedestrian traffic. By constructing the new building into the grade, it allows direct handicapped accessibility to both floor levels. It also reduces site coverage, floor area ratio and storm water runoff-inducing impervious surfaces. Because it is proposed to construct the building into the grade, what reads as a 32-foot height at the temple-facing front elevation reads only as a 22-foot height at the rear and side yard elevations, thus limiting its visual impact.

Furthermore, if the residence/monastery were to be isolated in a separate single-family residential building on site, it would fall under the requirements of the NYS Residential Building Code rather than the NYS Building Code and – by limitation of the Village of Pomona Zoning Ordinance – could house a maximum of 4 unrelated adults.

May 1st, 2025

9 Cheesecote Lane, Pomona NY 10970

Project Narrative – Variance Request for Pool

We are requesting a variance to allow the construction of a pool and pool house on a uniquely shaped and topographically challenging lot. This request is driven by several specific site constraints that prevent us from fully complying with standard zoning setback requirements.

First, the lot faces significant natural obstacles, including a steep slope and exposed rock formations along the left side of the rear yard, as documented in the photos provided. These conditions make a large portion of the backyard unusable for development. Additionally, the lot is irregularly shaped, resembling a "pizza slice," which further limits the ability to place the pool and pool house within the standard buildable area. Adhering strictly to the required setbacks would force the pool too close to the house and eliminate the only flat, usable portion of the yard.

The proposed variance is modest in nature, as it pertains only to accessory structures—the pool and pool house—and not to the primary residence. These additions are intended to enhance the functionality and enjoyment of the outdoor space without altering the home's existing footprint or affecting the overall character of the property.

The variance will not have any negative impact on adjacent properties. The homes directly behind our lot sit approximately 50 feet higher in elevation, placing the proposed structures well below their line of sight. Furthermore, mature trees and dense vegetation provide a natural screen between properties, ensuring complete visual privacy. Letters of support have been obtained from all directly adjacent neighbors, with the exception of the parkland, which is undeveloped and not privately owned.

Lastly, the project will have no impact on the adjacent parkland, which consists of miles of wooded, undevelopable land that is not open to the public. The nearest hiking trail is over 300 feet away from our property line, and given the distance and natural screening, there will be no visibility or disruption to the area's natural setting.

Given these factors, we believe the requested variance is reasonable, non-substantial, and necessary to allow for the safe and functional use of the property in a way that aligns with the neighborhood's character and zoning intent.

APPLICATION REVIEW FORM

PART I

Name of Municipality Pomona Date 4/21/2025

Please check all that apply:

<input type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input checked="" type="checkbox"/> Zoning Board of Appeals* <i>(*Fill out Parts I & II of this form)</i>	<input type="checkbox"/> Historical Board
	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision _____ # of Lots _____	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Final
<input type="checkbox"/> Conditional Use	
<input type="checkbox"/> Zoning Code Amendment	
<input type="checkbox"/> Zone Change	
<input checked="" type="checkbox"/> Variance	

Project Name: 9 Cheesecote Lane-Pool Project

Tax Map Designation:

Section 19.17 Block 1 Lot(s) 55.1
Section _____ Block _____ Lot(s) _____

Location: On the North side of Overlook Drive,
308 feet East of North Ridge Road in the
town/village of Pomona

Street Address: 9 Cheesecote Lane

Acres of Parcel 0.758 **Zoning District** Pomona

School District Haverstraw-Stony Point **Postal District** Pomona

Fire District Moleston **Ambulance District** Haverstraw

Water District Town of Haverstraw **Sewer District** 1

Project Description: *(If additional space required, please attach a narrative summary.)*

See attached narrative.

APPLICATION REVIEW FORM

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area. N/a

Are there **streams** on the site? If yes, please provide the names. N/a

Are there **wetlands** on the site? If yes, please provide the names and type. N/a

Project History: Has this project ever been reviewed before? N/a

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

Tax Map Section 19.17 Block 1

Lots 52, 53, 54 & 55

APPLICATION REVIEW FORM

Contact Information:

Applicant: Rachel Lieberman Phone # _____

Address 9 Cheesecote Lane Pomona NY 10970
Street Name & Number (Post Office) State Zip code

Property Owner: Rachel Lieberman Phone # _____

Address 9 Cheesecote Lane Pomona NY 10970
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Civil-Tec Phone # 845-547-2241

Address 139 Lafayette Avenue Suffern NY 10901
Street Name & Number (Post Office) State Zip code

Attorney: _____ Phone # _____

Address _____
Street Name & Number (Post Office) State Zip code

Contact Person: _____ Phone # _____

Address _____
Street Name & Number (Post Office) State Zip code

General Municipal Law Review:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|---|--|
| <input type="checkbox"/> State or County Road | <input checked="" type="checkbox"/> State or County Park |
| <input checked="" type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above. Long Path Section 5
Cheesecote Mountain Town Park

Referral Agencies: *(Please make sure that the appropriate agencies as needed received copies of your application and plans for their review.)*

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Comm. |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input checked="" type="checkbox"/> Other <u>Zoning Board of Appeals</u> | |

****All applicants must send copies of their applications and plans to:**
 Orange and Rockland, Regional manager, 75 West Route 59, Spring Valley, NY 10997.

APPLICATION REVIEW FORM

C. To the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of N/a in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee None
- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

f. In the event of corporate or limited liability company ownership: A list of all directors, officers and stockholders of each corporation or members of each limited liability company owning more than five (5%) percent of any class of stock or more than five (5%) percent beneficial interest, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____.

D. I do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

4. Reimbursement for Professional Consulting Services. I understand that the Town/Village Board, Planning Board, Zoning Board of Appeals, and other municipal boards, in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such application as required by law. The charges made by such consultants shall be in accord with charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the town/village and each such consultant for the cost of such consultant services upon receipt of the bill.

APPLICATION REVIEW FORM

5. Application Fee(s)

I, Rachel Lieberman, have paid to the Town/Village Clerk and/or Treasurer, the required fee for this application. (The fee is subject to the Schedule of Fees of the municipality). I shall review a copy of the zoning Local Law and Land Development Regulations, and be ready and prepared to review this application when scheduled. The Municipal Board, Planning Board, or Zoning Board of Appeals in the review of any application described above, may refer the subject application to an engineering, planning, environmental, or other technical consultant as such Board shall deem reasonably necessary to enable it to review the application as required by law.

***The following paragraph is optional to add if your municipality establishes escrow accounts:*

(I agree to establish an escrow account with the Town/Village of _____ from which these consultants' fees will be paid. The escrow account will not draw interest, and will be replenished upon notification by the Town/Village. Any additional sums needed to pay the Town's/Village's consultants shall be paid prior to final action on the application. The Town/Village may suspend processing of the application if there is a deficiency in the escrow account. Permits will not be issued and site plan or subdivision will not be signed until bill is paid in full. Any sums remaining in the escrow account after the consultants have been paid in full will be returned to the applicant. The applicant has the right to examine escrow and payment records upon prior written notice to the Town/Village.)

Applicant's Signature *Rachel Lieberman*
Print Applicant's Name Rachel Lieberman

SWORN to before me this
3th day of May, 2025
[Signature]
Notary Public

JOEL LITCHFIELD
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LI6444995
Qualified in Rockland County
Commission Expires 12/05/2026

I have received from Rachel Lieberman the sum of _____ on this date _____

Reviewed by the _____ on _____
Municipal Clerk/Treasurer

Action Taken: _____

APPLICATION REVIEW FORM

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Pomona)

I, Rachel Liberman being duly sworn, hereby
depose and say that I reside at: 9 Cheesecote Lane, Pomona NY 10970

in the county of Rockland in the state of New York

I am the (* N/a) owner in fee simple of premises located at:
9 Cheesecote Lane, Pomona NY 10970

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber 2023 of conveyances, page 25610 or as Instrument ID #

Said premises have been in my/its possession since 8/22/2023 Said premises are also
known and designated on the Town of Haverstraw Tax Map as:
section 19.17 block 1 lot(s) 55.1

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner Rachel Lieberman
Mailing Address 9 Cheesecote Lane
Pomona, NY 10970

SWORN to before this
5th day of May, 2025
Notary Public

JOEL LITCHFIELD
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LI6444995
Qualified in Rockland County
Commission Expires 12/05/2026

* If owner is a corporation or LLC, fill in the office held by deponent and name of
corporation or LLC, and provide a list of all directors, officers, and stockholders
owning more than 5% of any class of stock and all members having greater than 5%
beneficial interest.

APPLICATION REVIEW FORM

Owners of Nearby Properties:

That the following are all of the owners of property within 500 feet (distance) from the premises as to which this application is being taken.

SECTION/BLOCK/LOT	NAME	ADDRESS
19.17-1-51	Lazar Moshe	25 North Ridge Road, Pomona
19.17-1-63	Dembinsky Dov	26 North Ridge Road, Pomona
19.17-1-52	Raanan Zidile	27 North Ridge Road, Pomona
19.17-1-53	Rafi Tzur	29 North Ridge Road, Pomona
19.17-1-54	Yoel Setton	31 North Ridge Road, Pomona
19.17-1-56	Atzour Efrat	5 Cheesecote Lane, Pomona
19.17-1-55	Motti Rubin	7 Cheesecote Lane, Pomona
Cheesecote Town Park		

(use additional paper if needed)

SWORN to before this

5th

day of

May

2025

Notary Public

APPLICATION REVIEW FORM

PART II*

Application before the Zoning Board of Appeals

Application, petition, or request is hereby submitted for:

- Area Variance from the requirement of Section 130 _____;
- Use Variance from the requirement of Section _____;
- Special permit per the requirements of Section _____;
- Review of an administrative decision of the Building Inspector;
- An order to issue a Certificate of Occupancy;
- An order to issue a Building Permit;
- An interpretation of the Zoning Ordinance or Map;
- Certification of an existing non-conforming structure or use;
- Other (*explain*) _____;

To permit construction, maintenance and use of a swimming pool.

Previous Appeal:

- a. A previous appeal has, or has not, been made with respect to this property.
- b. Such appeal was in the form of:
 - An AREA Variance; or
 - A USE Variance; or
 - Appeal from decision of Town Official or Officer; or
 - Interpretation of the Zoning Ordinance or Map; or
 - Other
- c. The previous appeal described above was appeal number _____,
dated _____ and was _____ (Granted/Denied).

TO ALL APPLICANTS: Complete all relevant information by the section or sections pertaining to your appeal ONLY. You may also include extra pages to supplement this form with a narrative explanation. At the time of the hearing, you must present written documentation in support of all the statements made in this application. You must also substantiate all financial information supplied.

APPLICATION REVIEW FORM

A. AREA VARIANCE (This section to be completed only for an AREA variance. Use additional pages, if needed.)

This application seeks a variance from the provisions of Article IX,
 Section(s) 130. Specifically, the applicant seeks a variance
 from the requirements from:

Dimension*	Column	Required	Provided
Rear Set back		30 Ft	5Ft
Min Side Yard		25Ft	5Ft
<u>Min Lot Width (existing)</u>		<u>150 FT</u>	<u>121 FT</u>
<u>Min Lot Frontage (existing)</u>		<u>100 FT</u>	<u>30 FT</u>
<u>Min Lot Area (existing)</u>		<u>40,000 SF</u>	<u>33,003 SF</u>

*e.g., front yard, side setback, FAR, etc.

1. Is the requested variance the minimum necessary to relieve the practical difficulty or economic injury? NO This lot presents unique challenges due to the significant rock and slope conditions on the left side of the rear yard, as documented in the photos provided. Additionally, the irregular, pizza-shaped configuration of the lot makes it particularly difficult to meet standard setback requirements without placing the pool too close to the house. Strict adherence to setbacks would also eliminate the only usable flat portion of the yard, effectively preventing the reasonable use of the property for outdoor living

2. Is the variance substantial in relation to the zoning code? NO
Explain: This is not a substantial variance because it applies only to accessory structures--the pool and pool house--not the primary residence. These structures are smaller in scale and have a lesser impact on the overall use and appearance of the property.

3. Will a substantial change be produced in the character of the neighborhood, or a substantial detriment to adjoining property owners be created, if this variance is granted? NO
Explain: The requested variance is not significant in impact, as the adjacent properties sit approximately 50 feet higher in elevation, placing the proposed pool entirely out of their line of sight. Additionally, the area is well-screened by mature trees and dense vegetation, providing natural privacy and minimizing any visual or noise impact. Letters of support from the directly adjacent neighbors further demonstrate that the proposed pool will not negatively affect surrounding properties or the character of the neighborhood.

4. Can the alleged practical difficulty or economic injury be overcome by some method other than a variance? NO
Explain: This lot presents unique challenges due to the significant rock and slope conditions on the left side of the rear yard, as documented in the photos provided. Additionally, the irregular, pizza-shaped configuration of the lot makes it particularly difficult to meet standard setback requirements without placing the pool too close to the house. Strict adherence to setbacks would also eliminate the only usable flat portion of the yard, effectively preventing the reasonable use of the property for outdoor living

APPLICATION REVIEW FORM

5. Will the granting of this variance affect the health, safety, or welfare of the neighborhood or community? No

Explain: _____

6. Will there be any affect on governmental facilities or services if this variance is granted? No

Describe: I will be using existing utilities already provided to the house.

7. Other factors I/we wish the Board to consider in this case are

The proposed variance will have no impact on the adjacent parkland, as the surrounding area consists of dense wooded terrain that stretches for miles and is not open to the public or intended for future development. The nearest walking path that passes through this area is over 300 feet from the property line, ensuring that any activity within the yard, including use of the pool, will remain completely out of sight and sound. Given the distance, natural screening, and lack of public access, the proposed pool will not affect the character, use, or enjoyment of the adjacent parkland.

B. USE VARIANCE *(This section to be completed only for a USE variance. Use additional pages, if needed.)*

1. This property cannot be used for any uses currently permitted in this zone because:

2. The problem with this property is due to unique circumstances and not to the general conditions of the neighborhood in that:

3. The use requested by this variance will not alter the essential character of the neighborhood in that:

4. The amount paid for the entire parcel was: _____

5. The date of purchase of the property was: _____

6. The present value of the entire property is: _____

7. The monthly expenses attributed to normal and usual maintenance of the property are: _____

8. The annual taxes on the property are: _____

APPLICATION REVIEW FORM

9. The current income from the property is: _____

10. The amount of mortgages and other encumbrances on the property in question is:

a. Date of mortgage: _____

b. Scheduled maturity (payoff) date: _____

c. Present monthly payment amount: _____

d. Current principal balance: _____

e. Current interest rate: _____

11. Other factors I/we wish the Board to consider in this case are:

C. APPEAL OF DECISION OF BUILDING INSPECTOR *(This section to be completed for an appeal, only. Use additional pages, if needed.)*

1. Name and position of official making the decision:

2. Nature of decision:

3. The decision described above is hereby appealed because:

D. INTERPRETATION OF ZONING CODE *(This section to be completed for an interpretation, only. Use additional pages, if needed.)*

1. Section(s) to be interpreted: _____

2. An interpretation of the Zoning Code is requested because:

VILLAGE OF POMONA

100 LADENTOWN ROAD

POMONA, N.Y. 10970

Phone (845) 354-0545 ~ Fax (845) 354-0604

April 11, 2025

Ms. Rachel Lieberman

9 Cheesecote Ln

Pomona NY 10970

RE: Review of a Building permit submitted for a pool, for variances.

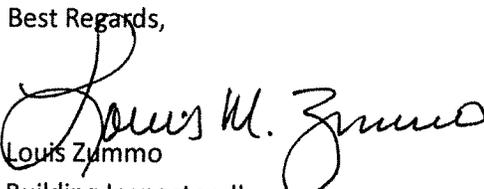
Dear Ms. Lieberman:

Please be advised that the Site plan from Civil Tec dated April 22, 2025 has been reviewed and a permit cannot be issued at this time due to the application requiring several variances listed below.

- 1) Minimum Lot Area – Required – 40,000 SF Provided - 33,003 SF - Variance 17.5%
- 2) Minimum Lot Frontage – Required – 100 FT Provided – 30 FT – Private Rd Variance 70%
- 3) Minimum Lot Width – Required 150 FT Provided – 121 FT Variance 19.3%
- 4) Minimum Side Yard – Required – 25 FT Provided – 5 FT Variance 80%
- 5) Minimum rear Yard – Required – 30 FT Provided – 5 FT Variance 83%

Please correct the number in the Bulk Table for the Max Building Height. The proposed height is listed as "2 Stories" this is not an actual height. An actual measurement is required.

Best Regards,


Louis Zummo

Building Inspector II

Village of Pomona NY

Motti Rubin
7 Cheesecote Lane
Pomona, NY 10970
Block/Lot: 19.17-1-55
February 25, 2025

Village of Pomona
Zoning Board

RE: 9 Cheesecote Lane – Building Permit Application for Pool

To Whom It May Concern,

I, Motti Rubin, am the owner of the property located at 7 Cheesecote Lane, which is directly adjacent to 9 Cheesecote Lane. I have reviewed the proposed pool plans as detailed in the Civil-Tech drawings dated November 19, 2024 (REV 1), and I am writing to express my support for this application.

I understand that my neighbors, Rachel Lieberman and Mark Moseson, are applying for a building permit to construct a new pool and pool house within five (5) feet of the rear property line. Given that the pool will be at a significantly lower elevation and will not be visible from my property, I do not foresee any disturbances or negative impacts.

Rachel Lieberman and Mark Moseson have been excellent neighbors, and I have no objections to their proposed project. I respectfully request that the Village of Pomona Zoning Board approve the necessary variances for their building permit.

Please feel free to contact me should you require any additional information.

Sincerely,

Motti Rubin


Signature

3/28/25
Date

Raanan Zidile

27 North Ridge Road
Pomona, NY 10970
Block/Lot: 19.17-1-52
February 25, 2025

Village of Pomona
Zoning Board

RE: 9 Cheesecote Lane – Building Permit Application for Pool

To Whom It May Concern,

I, Raanan Zidile, am the owner of the property located at 27 North Ridge Road, which is directly adjacent to 9 Cheesecote Lane. I have reviewed the proposed pool plans as detailed in the Civil-Tech drawings dated November 19, 2024 (REV 1), and I am writing to express my support for this application.

I understand that my neighbors, Rachel Lieberman and Mark Moseson, are applying for a building permit to construct a new pool and pool house within five (5) feet of the property line. Given that the pool will be at a significantly lower elevation and will not be visible from my property, I do not foresee any disturbances or negative impacts.

Rachel Lieberman and Mark Moseson have been excellent neighbors, and I have no objections to their proposed project. I respectfully request that the Village of Pomona Zoning Board approve the necessary variances for their building permit.

Please feel free to contact me should you require any additional information.

Sincerely,

Raanan Zidile

Signature

3/28/25

Date

Rafi Tzur
29 North Ridge Road
Pomona, NY 10970
Block/Lot: 19.17-1-53
February 25, 2025

Village of Pomona
Zoning Board

RE: 9 Cheesecote Lane – Building Permit Application for Pool

To Whom It May Concern,

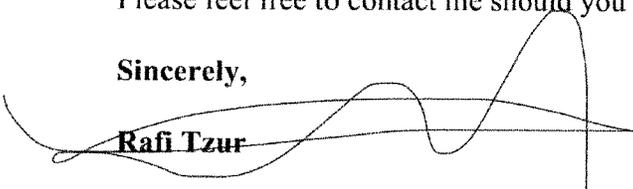
I, Rafi Tzur, am the owner of the property located at 29 North Ridge Road, which is directly adjacent to 9 Cheesecote Lane. I have reviewed the proposed pool plans as detailed in the Civil-Tech drawings dated November 19, 2024 (REV 1), and I am writing to express my support for this application.

I understand that my neighbors, Rachel Lieberman and Mark Moseson, are applying for a building permit to construct a new pool and pool house within five (5) feet of the property line. Given that the pool will be at a significantly lower elevation and will not be visible from my property, I do not foresee any disturbances or negative impacts.

Rachel Lieberman and Mark Moseson have been excellent neighbors, and I have no objections to their proposed project. I respectfully request that the Village of Pomona Zoning Board approve the necessary variances for their building permit.

Please feel free to contact me should you require any additional information.

Sincerely,


Rafi Tzur

Signature

5/4/2025

Date

Yoel Setton

31 North Ridge Road

Pomona, NY 10970

Block/Lot: 19.17-1-54

February 25, 2025

Village of Pomona

Zoning Board

RE: 9 Cheesecote Lane – Building Permit Application for Pool

To Whom It May Concern,

I, Yoel Setton, am the owner of the property located at 31 North Ridge Road, which is directly adjacent to 9 Cheesecote Lane. I have reviewed the proposed pool plans as detailed in the Civil-Tech drawings dated November 19, 2024 (REV 1), and I am writing to express my support for this application.

I understand that my neighbors, Rachel Lieberman and Mark Moseson, are applying for a building permit to construct a new pool and pool house within five (5) feet of the property line. Given that the pool will be at a significantly lower elevation and will not be visible from my property, I do not foresee any disturbances or negative impacts.

Rachel Lieberman and Mark Moseson have been excellent neighbors, and I have no objections to their proposed project. I respectfully request that the Village of Pomona Zoning Board approve the necessary variances for their building permit.

Please feel free to contact me should you require any additional information.

Sincerely,

Yoel Setton



Signature

02/27/2025

Date

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

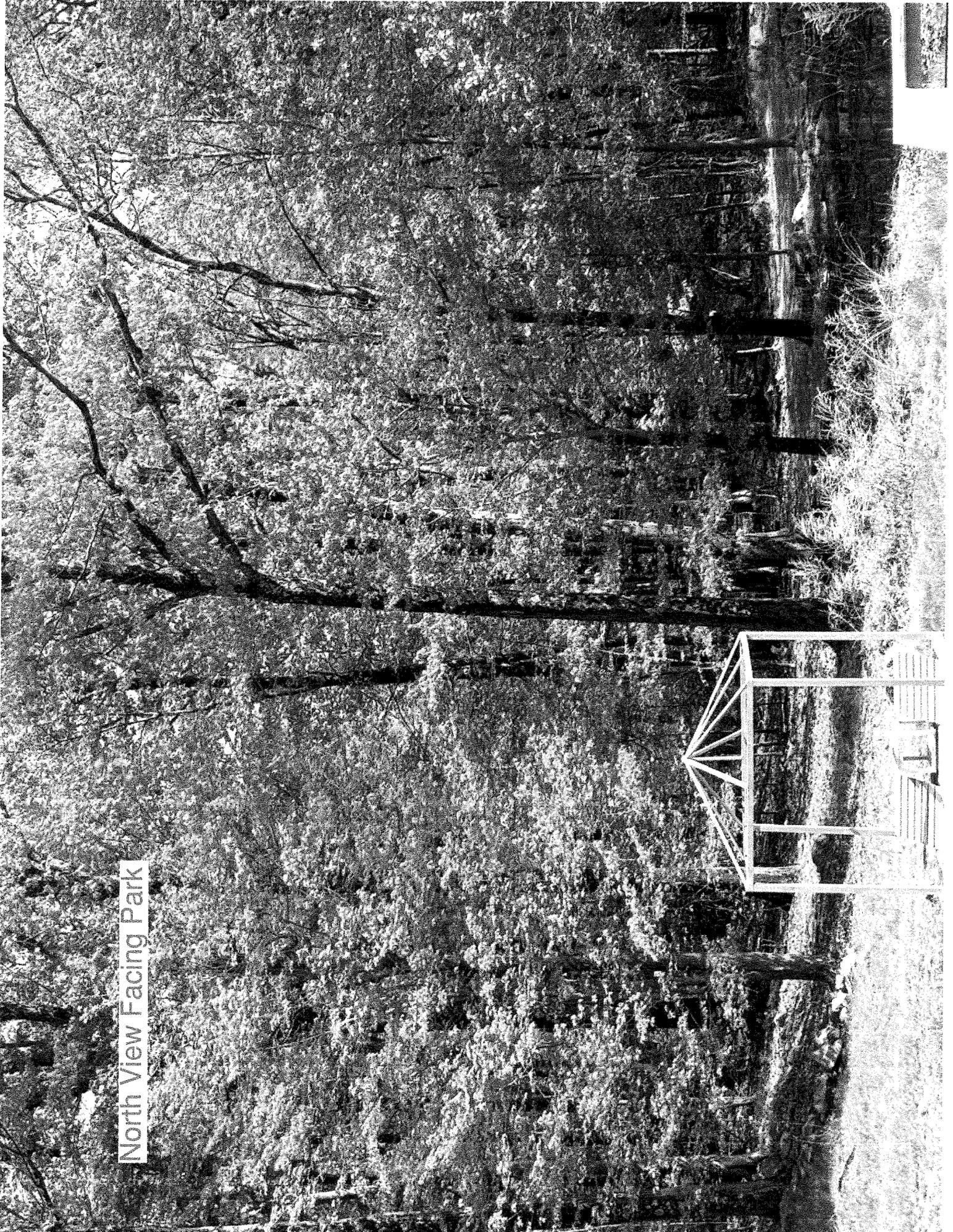
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

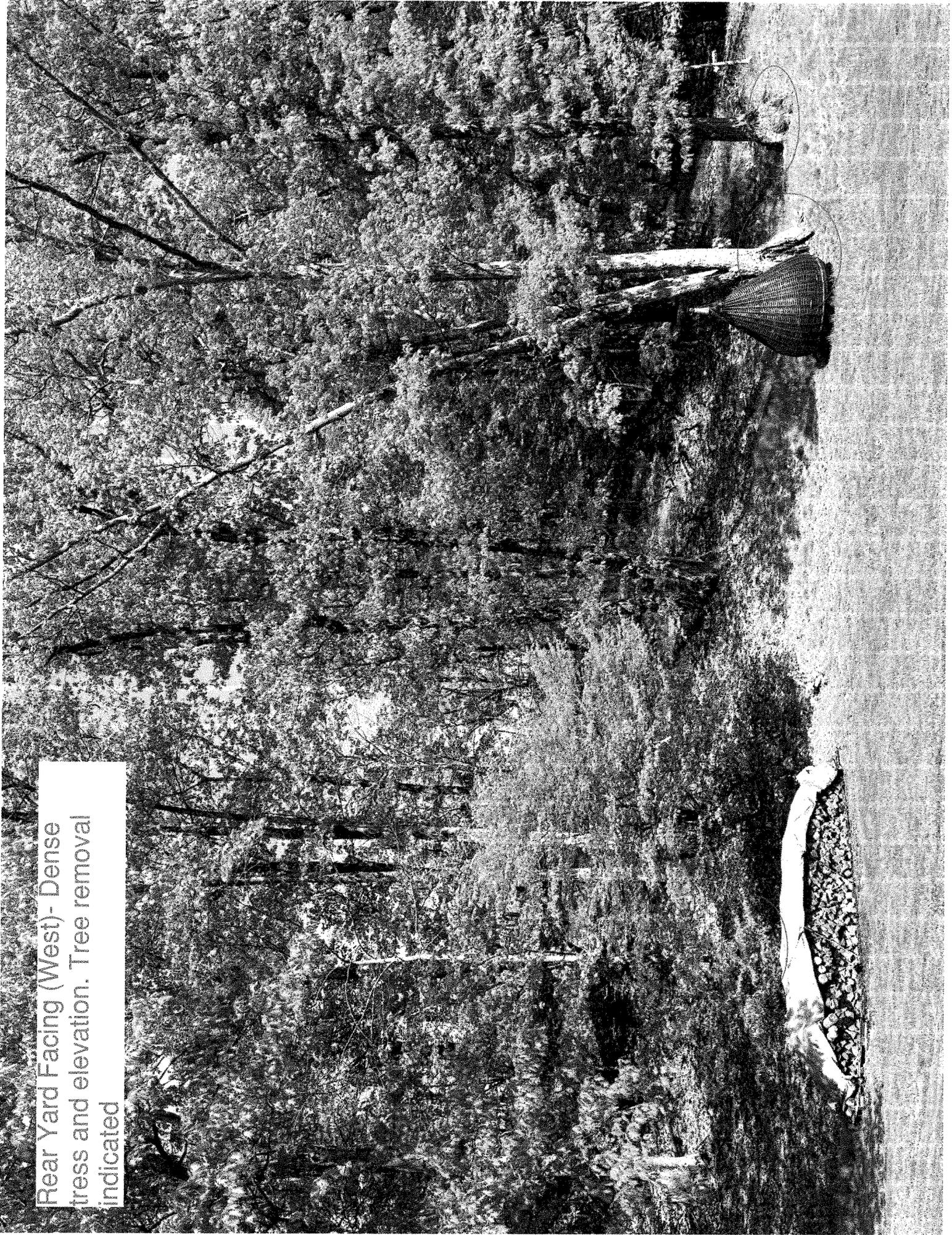
Part 1 – Project and Sponsor Information			
Name of Action or Project: 9 Cheesecote Lane			
Project Location (describe, and attach a location map): 9 Cheesecote Lane Pomona, NY 10970			
Brief Description of Proposed Action: proposed pool, pool house, fish pond, outdoor kitchen, and deck of pervious pavers			
Name of Applicant or Sponsor: Rachel Lieberman		Telephone: 845-494-9996 E-Mail: mark@landmarknyc.net	
Address: 9 Cheesecote Lane			
City/PO: Pomona		State: NY	Zip Code: 10970
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: variance-ZBA			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .76 acres b. Total acreage to be physically disturbed? _____ .4 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .76 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input checked="" type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

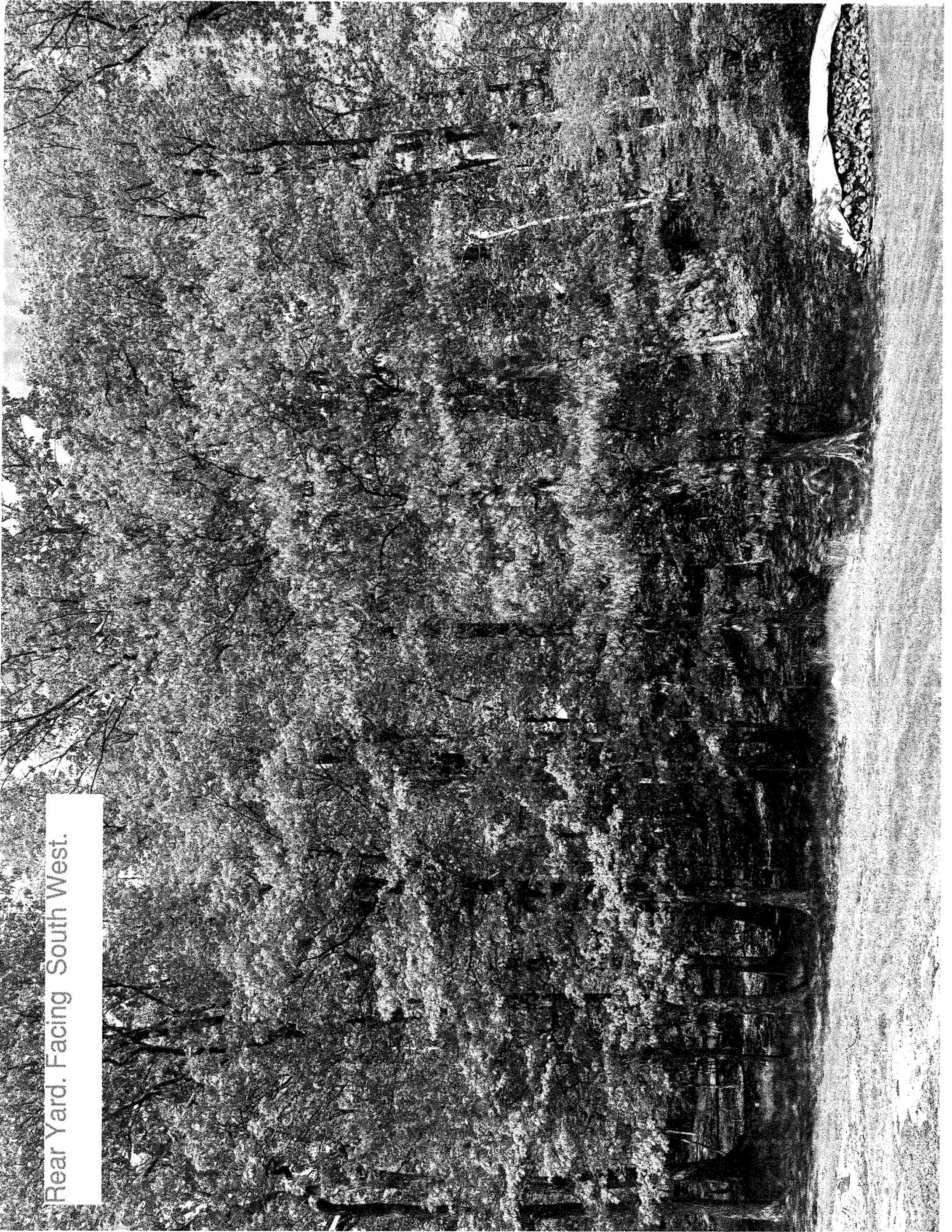
North View Facing Park



Rear Yard Facing (West)- Dense
tress and elevation. Tree removal
indicated



Rear Yard. Facing South West.



DEPARTMENT OF PLANNING

Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970
Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Richard M. Schiafo
Deputy Commissioner

June 26, 2025

Pomona Zoning Board of Appeals
100 Ladentown Road
Pomona, NY 10970

Tax Data: 19.17-1-55.1

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M

Map Date: 04/22/2025

Date Review Received: 06/17/2025

Item: *9 Cheesecote Lane Pool (GML-25-0319)*

Variances for side yard and rear yard to permit the construction of a pool and pool house in the rear yard of an existing single-family dwelling located on 0.76 acres in the R-40 zoning district. Northern terminus of the private drive at the northern end of the Cheesecote Lane cul-de-sac, approximately 650 feet north of Cheesecote Lane

Reason for Referral:

The Long Path Hiking Trail, Town of Haverstraw

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

Remand for Local Decision

The proposed action is deemed to have no significant county-wide or inter-community impact under New York State General Municipal Law § 239; therefore, the action is a local decision.



Douglas J. Schuetz
Acting Commissioner of Planning

9 Cheesecote Lane Pool (GML-25-0319)

cc: Mayor Ilan Fuchs, Pomona
New York - New Jersey Trail Conference
Rockland County Department of Health
Rockland County Planning Board
Rockland County Sewer District No. 1
Town of Haverstraw Planning Board
Civil Tec Engineering & Surveying PC

*The review undertaken by the County of Rockland Department of Planning is pursuant to and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B, the County of Rockland does not render opinions nor determine whether the proposed action reviewed implicates the Religious Land Use and Institutionalized Persons Act. The County of Rockland Department of Planning defers to the municipality referring the proposed action to render such opinions and make such determinations as appropriate under the circumstances.

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Pursuant to New York State General Municipal Law §§ 239-m and 239-n, the referring body shall file a report of final action it has taken with the County of Rockland Department of Planning within thirty (30) days after final action.



**New York State
Parks, Recreation and
Historic Preservation**

KATHY HOCHUL
Governor

RANDY SIMONS
Commissioner Pro Tempore

May 30, 2025

RACHEL BARESE
President
Civil Tec Engineering & Surveying PC
139 Lafayette Avenue
2nd Fl.
Suffern, NY 10901

Re: SEQRA
9 Cheesecote Lane
9 Cheesecote Ln, Pomona, NY 10970
25PR04672

Dear RACHEL BARESE:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project.

Based upon this review, it is the opinion of OPRHP that no properties, including archaeological and/or historic resources, listed in or eligible for the New York State and National Registers of Historic Places will be impacted by this project.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above. If you have any questions, please contact Jessica Vavrsek at the following email address:

Jessica.Vavrsek@parks.ny.gov

Sincerely,

A handwritten signature in black ink that reads "R. Daniel Mackay".

R. Daniel Mackay

Deputy Commissioner for Historic Preservation
Division for Historic Preservation



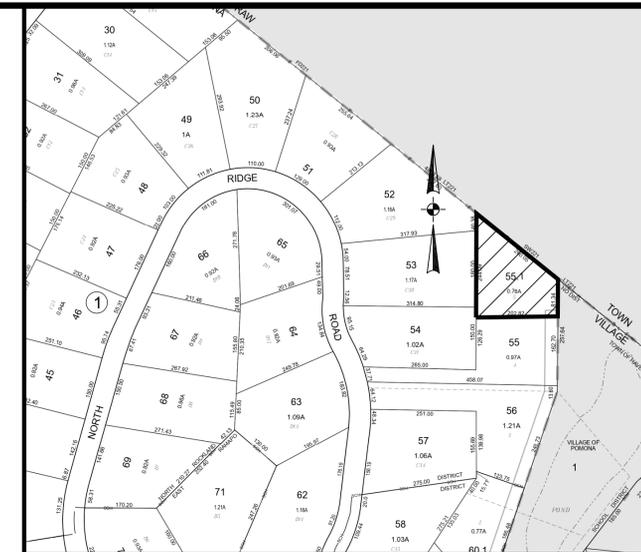
19.17 - 1 - 52
N/F ZIDILE
C29

19.17 - 1 - 53
N/F CHITIYO
C30

19.17 - 1 - 54
N/F SETTON
C31

19.17 - 1 - 55
N/F RUBIN
C4

19.17 - 1 - 55.1
33,003 Sq. Feet
0.758 Acres
5



VICINITY MAP
1" = 200'

GENERAL NOTES

- RECORD OWNER AND APPLICANT: RACHEL LIEBERMAN
9 CHEESECOTE LANE
POMONA, NY 10970
- BASED ON THE VILLAGE OF POMONA TAX MAP, THIS LOT IS 55.1 ON MAP 19.17 BLOCK 1.
- AREA OF PROPERTY: 33,003 SQUARE FEET OR 0.758 ACRES
- BOUNDARY COMPLETED BY CIVIL TEC ENGINEERING & SURVEYING PC ON AUGUST 16, 2023.

BULK TABLE R-40 Single Family Residence										
Zone: R-40	Min. Lot Area	Min. Lot Frontage	Min. Lot Width	Min. Lot Depth	Min. Front Yard	Min. Side Yard	Min. Rear Yard	Max. Building Height	Max. Lot Coverage	Max. Building Coverage
Required	40,000 SF	100 FT	150 FT	140 FT	50 FT	25 FT	30 FT	35 FT	20%	15%
Provided	33,003 SF*	30 FT*	121 FT*	202 FT	85.1 FT	5 FT**	5 FT**	2 Stories	20%	9.8%
*Existing Condition										
**Variance Required										

LOT COVERAGE:

EXISTING	PROPOSED	
DWELLING	DWELLING	2,885 SF
DRIVEWAY	DECKS	1,062 SF
DECKS	HOT TUB	49 SF
WALKWAYS/STAIRS	POOL	1,141 SF
TOTAL	POOL HOUSE	353 SF
	SPLASH PAD	198 SF
	OUTDOOR KITCHEN	53 SF
	FISH POND	101 SF
	WALKWAY/STAIRS	704 SF
TOTAL IMPERVIOUS COVERAGE:	TOTAL	6,546 SF
8,726 SF / 33,003 SF = 0.264	TOTAL IMPERVIOUS COVERAGE:	6,546 SF / 33,003 SF = 0.198

BUILDING COVERAGE:

DWELLING	2,885 SF
POOL HOUSE	353 SF
TOTAL	3,238 SF

BUILDING COVERAGE:
3,238 SF / 33,003 SF = 0.098

APRIL 22, 2025 REV 2 REV PER COMMENTS
NOVEMBER 19, 2024 REV 1 REV PER CLIENT

DATE	ISSUE	DESCRIPTION	REVISIONS
------	-------	-------------	-----------

S.B.L. 19.17 - 1 - 55.1
PLOT PLAN
FOR
9 CHEESECOTE LANE
VILLAGE OF POMONA - ROCKLAND COUNTY - NEW YORK

CIVIL TEC Engineering & Surveying PC
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901
P 845.547.2241 - F 845.547.2243

111 Main Street Chester, NY 10918
845.610.3621
Civil Engineering & Land Surveying Services that Build Communities
www.Civil-Tec.com

DATE: 6/26/24
DRAWN BY: DC
CHKD BY: RB/LT
JOB No. 4307
SCALE: 1"=20'
DWG No. 1 OF 2



Rachel B. Barese
Rachel B. Barese, P.E.
N.Y. Lic. No. 90143

20' WIDE UTILITIES EASEMENT

15' WIDE SANITARY SEWER EASEMENT

N 12°45'00" E

N 77°15'00" W

30' WIDE EASEMENT FOR INGRESS, EGRESS & UTILITIES

19.18 - 1 - 1
N/F VILLAGE OF POMONA

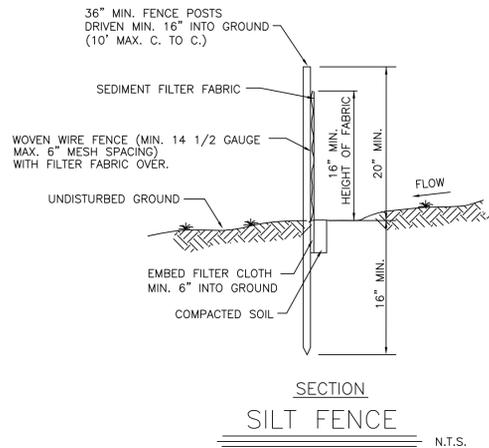
TOWN OF HAVERSTRAW
VILLAGE OF POMONA

19.14 - 1 - 1
N/F TOWN OF HAVERSTRAW

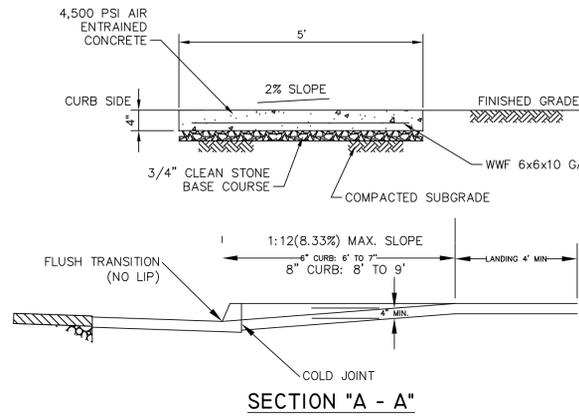
GRAPHIC SCALE



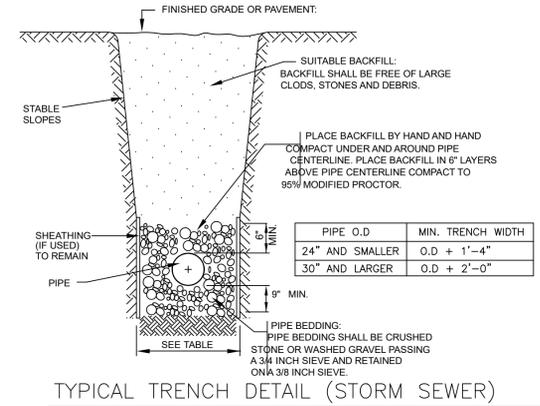
(IN FEET)
1 inch = 20 ft.



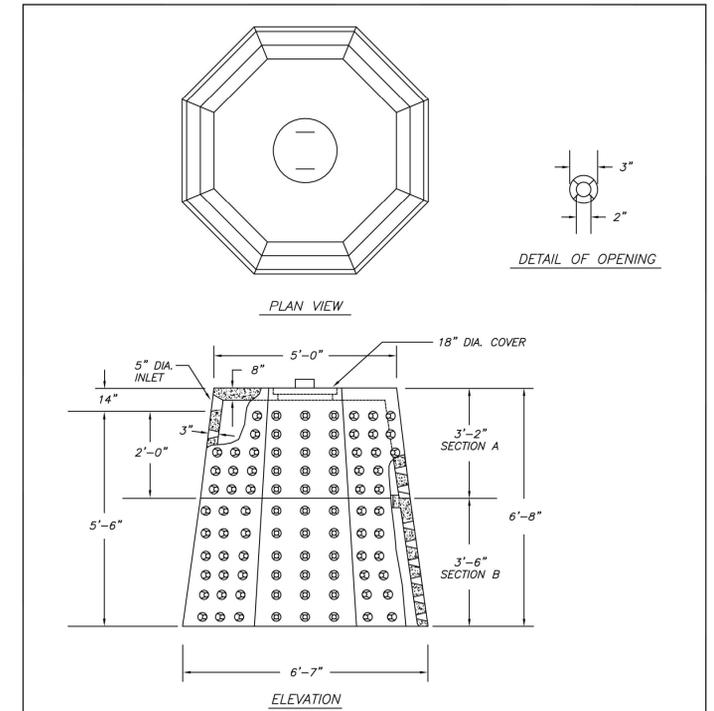
- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
 5. POST TO BE STEEL EITHER "T" OR "U" TYPE OR 2" HARWOOD.
 6. FILTER CLOTH TO BE MIRAFI 100X STABILINKA T140N OR APPROVED EQUAL.
 7. PREFABRICATED UNIT - GEOFAB, ENVIROFENCE OR APPROVED EQUAL.



CONCRETE SIDEWALK
SCALE: N. T. S.

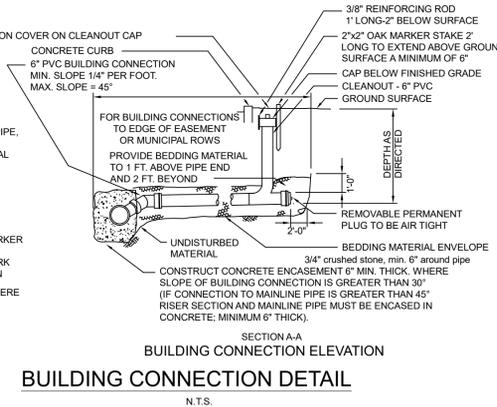
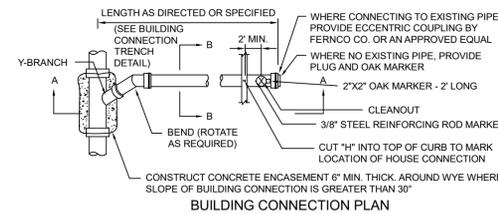
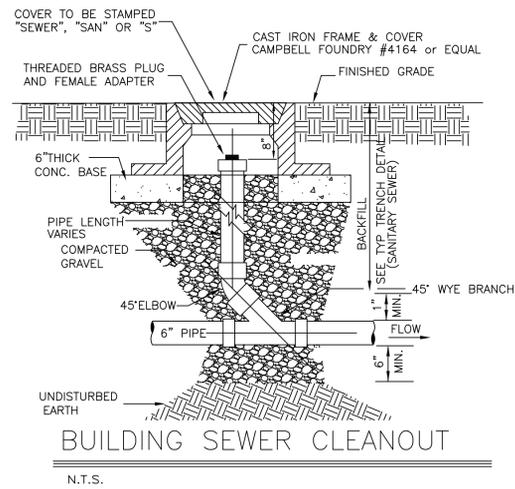


TYPICAL TRENCH DETAIL (STORM SEWER)
N.T.S.



- NOTES:**
- * CONCRETE TO TEST 4000 PSI @ 28 DAYS
 - * STEEL REINFORCEMENT-ASTM-A-615
 - * SECTION A - 370 GALLONS 6'-0" ACROSS BOTTOM WEIGHT - 2,000 LBS.
 - * SECTION B - 630 GALLONS 6'-7" ACROSS BOTTOM WEIGHT - 4050 LBS.
 - * LOAD RATING - H20
 - * PROVIDE 12" BASE AND 18" PERIMETER OF STONE (1 1/2" - 2") AROUND THE DRYWELL

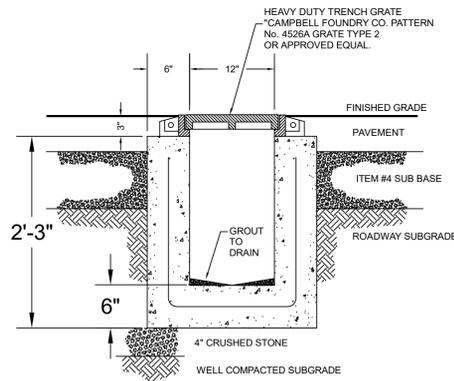
Precast Concrete Sales Co. 123 Route 303 Valley Cottage, N.Y. 10989 Tel. (845) 268-4949 - Fax (845) 268-4376			
CONT.	JOB	DATE	DRAWN BY
	5'-0" x 6'-7" DRYWELL TWO SECTIONS	02/09	AT
			DRAWING NO.
			705-A/B



BUILDING CONNECTION DETAIL
N.T.S.

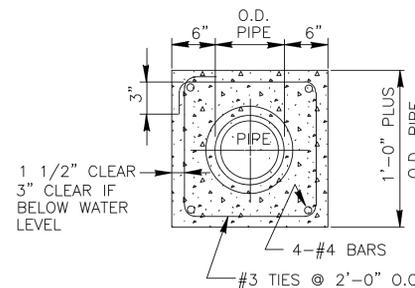
EROSION CONTROL & SEDIMENT NOTES

1. A TEMPORARY SEEDING SHALL BE APPLIED TO DISTURBED AREAS THAT ARE LEFT BARE FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS. IF CONSTRUCTION IS SUSPENDED OR COMPLETED, AREAS SHALL BE SEEDDED DOWN OR MULCHED IMMEDIATELY.
2. STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL, THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
3. DURING CONSTRUCTION, ALL STRUCTURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN.
4. AFTER CONSTRUCTION, INSPECTION SHALL BE MADE AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.
5. THE STORM DRAIN INLET STRUCTURES SHALL BE PROTECTED WITH A FILTER BERM UNTIL THE AREA IS STABILIZED WITH VEGETATION OR THE BASE COURSE OF PAVEMENT IS INSTALLED.
6. CONSIDER LIMITING LAND DISTURBANCE TO ONLY THAT AREA NECESSARY FOR DEVELOPMENT.
7. THE MACADAM SURFACE SHALL BE SWEEP "BROOM CLEAN" AT THE END OF EACH DAY DURING THE CONSTRUCTION PHASE OF THE SIDEWALKS AND CURB.
8. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL POINTS WHERE A DISTURBED AREA MEETS AN IMPERVIOUS SURFACE, THIS INCLUDES ALL NEW DRIVEWAY CONNECTIONS ALONG THE NEW ROADWAY.
9. CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO THOSE AREAS WITHIN THE SILT FENCE SEDIMENT PROTECTION. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, THE AREA COMPACTED BY MACHINERY SHALL BE DICED OR OTHERWISE LOOSENEED TO A DEPTH OF 12 INCHES PRIOR TO FINAL GRADING WITH TOPSOIL AND SEEDING.



TRENCH DRAIN DETAIL
N.T.S.

- NOTES:**
- * MUST BE SUITABLE FOR H-20 LOADING
 - * MATERIALS & CONSTRUCTION TO CONFORM TO LOCAL BUILDING DEPARTMENT
 - * ALL CONCRETE TO BE 4000 P.S.I.



NOTE: ALL REINFORCING STEEL TO BE DEFORMED BARS AND LAPPED 14 INCHES AT SPLICES

CONCRETE ENCASEMENT
N.T.S.

APRIL 22, 2025	REV 2	REV PER COMMENTS
NOVEMBER 19, 2024	REV 1	REV PER CLIENT

DATE	ISSUE	DESCRIPTION	REVISIONS
S.B.L. 19.17 - 1 - 55.1			
DETAILS			
FOR			
9 CHEESECOTE LANE			
VILLAGE OF POMONA - ROCKLAND COUNTY - NEW YORK			
CIVIL TEC Engineering & Surveying PC			DATE: 6/26/24
139 Lafayette Avenue, 2nd Fl. Suffern, NY 10901 P 845.547.2241 - F 845.547.2243			DRAWN BY: DC
111 Main Street Chester, NY 10918 845.610.3621			CHKD BY: RB/LT
Civil Engineering & Land Surveying Services that Build C www.Civil-Tec.com			JOB No. 4307
<i>Rachel B. Barese</i> Rachel B. Barese, P.E. N.Y. Lic. No. 90143			SCALE: 1"=20'
			DWG No. 2 OF 2