

**VILLAGE OF POMONA  
PLANNING BOARD MEETING**

**June 11, 2026  
7:30 PM**

- 1. Call to order**
- 2. Roll Call**
- 3. Pledge of Allegiance**
- 4. 34 North Ridge rd - HOW**
- 5. Old Business**
- 6. Motion to adjourn**

# Village of Pomona

100 Ladentown Road, Pomona, NY 10970  
Telephone: 845-354-0545  
Website: [www.pomonavillage.com](http://www.pomonavillage.com)

## APPLICATION CHECKLIST FOR:

**TECHNICAL ADVISORY COMMITTEE  
PLANNING BOARD  
VILLAGE BOARD OF TRUSTEES  
ZONING BOARD OF APPEALS**

**\*\*All Application Requests require a digital submission emailed to:  
*Jenna Antoine* [jenna.antoine@pomonavillage.com](mailto:jenna.antoine@pomonavillage.com)**

### APPLICATION FOR ZONING BOARD OF APPEALS

*Submit: 15 copies* of application

*Submit: 15 copies* of EAF (*short form*)

*Submit: 15 copies* of Plot Plan drawn to scale

*Submit: 15 copies* of architecturals and elevations

*Submit: 15 copies* of narrative summary

*Submit: 15 copies* of decision or order upon which appeal is based and Notice of Appeals to Building Inspector

*Submit: 15 copies* of any details that will help the Board judge the application

*Submit:* Filing Fee: \$200 for existing residence and \$375 for new construction

*Submit:* Escrow of \$1,500 per lot – Escrows to be replenished as necessary

### APPLICATION TO APPEAR BEFORE TECHNICAL ADVISORY COMMITTEE (TAC) (Informal)

*Submit: 5 copies* of application

*Submit: 5 copies* of plan & EAF (*short form*)

*Submit: 5 copies* of narrative summary

*Submit:* Filing Fee: \$250 per appearance

*Submit:* Escrow: \$1,500 per lot

### APPLICATION TO APPEAR BEFORE PLANNING BOARD

*Submit: 14 copies* of application

*Submit: 14 copies* of plan & EAF (*short form*)

*Submit: 14 copies* of narrative summary

*Submit:* Application Fee: \$600 per lot + \$250 per appearance after first meeting

*Submit:* Escrow of \$1,500 per lot – Escrows to be replenished as necessary

### APPLICATION TO APPEAR BEFORE BOARD OF TRUSTEES

*Submit: 7 copies* of application

*Submit: 7 copies* of plan

*Submit: 7 copies* of EAF (*short form*).

*Submit: 7 copies* of narrative summary

# APPLICATION REVIEW FORM

## PART I

Name of Municipality Pomona Date 07/17/2025

*Please check all that apply:*

<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input type="checkbox"/> Zoning Board of Appeals* <i>(*Fill out Parts I &amp; II of this form)</i>	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Subdivision _____ # of Lots _____	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Pre-preliminary/Sketch
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Zoning Code Amendment	
<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance	

Project Name: Chabad of the Heights

Tax Map Designation:

Section 25.05 Block 2 Lot(s) 13

Section \_\_\_\_\_ Block \_\_\_\_\_ Lot(s) \_\_\_\_\_

Location: On the West side of Cheesecote Lane,  
223 feet South West of Cheesecote Lane in the  
town/village of Pomona.

Street Address: 34 North Ridge Road

Acreage of Parcel 1.04 Zoning District Pomona

School District East Ramapo CSD Postal District Pomona

Fire District Moleston Ambulance District Haverstraw

Water District Town of Haverstraw Sewer District 1

**Project Description:** *(If additional space required, please attach a narrative summary.)*

We request the special permit for a Neighborhood House of Worship that will replace the current, temporary religious facility at 34 North Ridge Road. The board previously issued a special permit to the Congregation for a House of Worship on the site on or about January 29th, 2023. The building was unfortunately destroyed last year as the result of a fire. The proposed Neighborhood House of Worship will serve the same community members and be in approximately the same area as the religious facility that was destroyed in the fire.

## APPLICATION REVIEW FORM

**If subdivision:**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

**If special permit,** list special permit use and what the property will be used for.

We propose construction of a Neighborhood House of Worship and accessory parking lots at 34 North Ridge Road, Pomona.

**Environmental Constraints:**

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area. No

Are there **streams** on the site? If yes, please provide the names. No

Are there **wetlands** on the site? If yes, please provide the names and type. No

**Project History:** Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

ZBA on July 16h 2025 regarding a violation for the temporary tent at 34 North Ridge

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/a

## APPLICATION REVIEW FORM

**Contact Information:**

Applicant: Congregation Chabad of the Heights Phone # \_\_\_\_\_  
 Address 34 North Ridge Road Pomona NY 10970  
Street Name & Number (Post Office) State Zip code

Property Owner: Eliezer Steinmentz Phone # \_\_\_\_\_  
 Address 103 Overlook Road Pomona NY 10970  
Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Todd Rosenblum Phone # (845) 364-0337  
 Address 221 Quaker Road Pomona NY 10970  
Street Name & Number (Post Office) State Zip code

Attorney: Daniel M Richmond Phone # \_\_\_\_\_  
 Address 81 Main Street Suite 415 White Plains NY 10601  
Street Name & Number (Post Office) State Zip code

Contact Person: Mark Moseson Phone # (845) 494-9996  
 Address 9 Cheesecote Lane Pomona NY 10970  
Street Name & Number (Post Office) State Zip code

**General Municipal Law Review:**

This property is within 500 feet of:  
*(Check all that apply)*      Not applicable

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- |   |   |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path            | <input type="checkbox"/> County Stream        |
| <input type="checkbox"/> Municipal Boundary   | <input type="checkbox"/> County Facility      |

List name(s) of facility checked above. \_\_\_\_\_

**Referral Agencies:** *(Please make sure that the appropriate agencies as needed received copies of your application and plans for their review.)*

- |  |  |
|--|--|
| <input type="checkbox"/> RC Highway Department       | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency          | <input type="checkbox"/> RC Dept. of Health                      |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority       | <input type="checkbox"/> Palisades Interstate Park Comm.         |
| <input type="checkbox"/> Adjacent Municipality _____ |  |
| <input type="checkbox"/> Other _____                 |  |

**\*\*All applicants must send copies of their applications and plans to:**  
 Orange and Rockland, Regional manager, 75 West Route 59, Spring Valley, NY 10997.



## APPLICATION REVIEW FORM

C. To the extent that the same is known to your applicant, and to the owner of the subject premises **there is disclosed herewith** the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of Pomona in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee None
- b. Nature of interest N/a
- c. If stockholder, number of shares N/a
- d. If officer or partner, nature of office and name of partnership N/a
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. N/a
- f. In the event of corporate or limited liability company ownership: A list of all directors, officers and stockholders of each corporation or members of each limited liability company owning more than five (5%) percent of any class of stock or more than five (5%) percent beneficial interest, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of N/a.

D. I do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

**4. Reimbursement for Professional Consulting Services.** I understand that the Town/Village Board, Planning Board, Zoning Board of Appeals, and other municipal boards, in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such application as required by law. The charges made by such consultants shall be in accord with charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the town/village and each such consultant for the cost of such consultant services upon receipt of the bill.

APPLICATION REVIEW FORM

5. Application Fee(s)

I, Congregation Chabad of the Heights, have paid to the Town/Village Clerk and/or Treasurer, the required fee for this application. (The fee is subject to the Schedule of Fees of the municipality). I shall review a copy of the zoning Local Law and Land Development Regulations, and be ready and prepared to review this application when scheduled. The Municipal Board, Planning Board, or Zoning Board of Appeals in the review of any application described above, may refer the subject application to an engineering, planning, environmental, or other technical consultant as such Board shall deem reasonably necessary to enable it to review the application as required by law.

*\*\*The following paragraph is optional to add if your municipality establishes escrow accounts:*

(I agree to establish an escrow account with the Town/Village of Pomona from which these consultants' fees will be paid. The escrow account will not draw interest, and will be replenished upon notification by the Town/Village. Any additional sums needed to pay the Town's/Village's consultants shall be paid prior to final action on the application. The Town/Village may suspend processing of the application if there is a deficiency in the escrow account. Permits will not be issued and site plan or subdivision will not be signed until bill is paid in full. Any sums remaining in the escrow account after the consultants have been paid in full will be returned to the applicant. The applicant has the right to examine escrow and payment records upon prior written notice to the Town/Village.)

Applicant's Signature

Print Applicant's Name

Congregation Chabad of the Heights

SWORN to before me this

24 day of July, 2025

Notary Public

Courtney K Sparks  
Notary Public, State of New York  
Reg. No. 01SP0022004  
Qualified in Orange County  
Commission Expires March 12, 2028

I have received from \_\_\_\_\_ the sum of \_\_\_\_\_ on this date

\_\_\_\_\_

Reviewed by the \_\_\_\_\_ on \_\_\_\_\_ Municipal Clerk/Treasurer

Action Taken: \_\_\_\_\_





APPLICATION REVIEW FORM

PART II\*

Application before the Zoning Board of Appeals

Application, petition, or request is hereby submitted for:

- ( ) Area Variance from the requirement of Section \_\_\_\_\_;
( ) Use Variance from the requirement of Section \_\_\_\_\_;
(X) Special permit per the requirements of Section \_\_\_\_\_;
( ) Review of an administrative decision of the Building Inspector;
( ) An order to issue a Certificate of Occupancy;
( ) An order to issue a Building Permit;
( ) An interpretation of the Zoning Ordinance or Map;
( ) Certification of an existing non-conforming structure or use;
( ) Other (explain) \_\_\_\_\_;

To permit construction, maintenance and use of a synagogue

Previous Appeal:

- a. A previous appeal X has, or \_\_\_ has not, been made with respect to this property.
b. Such appeal was in the form of:
\_\_\_ An AREA Variance; or
\_\_\_ A USE Variance; or
X Appeal from decision of Town Official or Officer; or
\_\_\_ Interpretation of the Zoning Ordinance or Map; or
X Other See attached resolutions for extension and final site plan approval.
c. The previous appeal described above was appeal number ZBA \_\_\_\_\_,
dated July 16, 2025 and was In Progress (Granted/Denied).

TO ALL APPLICANTS: Complete all relevant information by the section or sections pertaining to your appeal ONLY. You may also include extra pages to supplement this form with a narrative explanation. At the time of the hearing, you must present written documentation in support of all the statements made in this application. You must also substantiate all financial information supplied.

## APPLICATION REVIEW FORM

**A. AREA VARIANCE** *(This section to be completed only for an AREA variance. Use additional pages, if needed.)* Not applicable

This application seeks a variance from the provisions of Article \_\_\_\_\_, Section(s) \_\_\_\_\_. Specifically, the applicant seeks a variance from the requirements from:

Dimension*	Column	Required	Provided

*\*e.g., front yard, side setback, FAR, etc.*

1. Is the requested variance the minimum necessary to relieve the practical difficulty or economic injury? \_\_\_\_\_

**Describe:** \_\_\_\_\_  
\_\_\_\_\_

2. Is the variance substantial in relation to the zoning code? \_\_\_\_\_

**Explain:** \_\_\_\_\_  
\_\_\_\_\_

3. Will a substantial change be produced in the character of the neighborhood, or a substantial detriment to adjoining property owners be created, if this variance is granted? \_\_\_\_\_

**Explain:** \_\_\_\_\_  
\_\_\_\_\_

4. Can the alleged practical difficulty or economic injury be overcome by some method other than a variance? \_\_\_\_\_

**Explain:** \_\_\_\_\_  
\_\_\_\_\_

## APPLICATION REVIEW FORM

5. Will the granting of this variance affect the health, safety, or welfare of the neighborhood or community? \_\_\_\_\_

**Explain:** \_\_\_\_\_

\_\_\_\_\_

6. Will there be any affect on governmental facilities or services if this variance is granted? \_\_\_\_\_

**Describe:** \_\_\_\_\_

\_\_\_\_\_

7. Other factors I/we wish the Board to consider in this case are

\_\_\_\_\_

\_\_\_\_\_

**B. USE VARIANCE** *(This section to be completed only for a USE variance. Use additional pages, if needed.)* Not applicable

1. This property cannot be used for any uses currently permitted in this zone because:

\_\_\_\_\_

\_\_\_\_\_

2. The problem with this property is due to unique circumstances and not to the general conditions of the neighborhood in that:

\_\_\_\_\_

\_\_\_\_\_

3. The use requested by this variance will not alter the essential character of the neighborhood in that:

\_\_\_\_\_

\_\_\_\_\_

4. The amount paid for the entire parcel was: \_\_\_\_\_

5. The date of purchase of the property was: \_\_\_\_\_

6. The present value of the entire property is: \_\_\_\_\_

7. The monthly expenses attributed to normal and usual maintenance of the property are: \_\_\_\_\_

8. The annual taxes on the property are: \_\_\_\_\_

## APPLICATION REVIEW FORM

9. The current income from the property is: \_\_\_\_\_

10. The amount of mortgages and other encumbrances on the property in question is:

a. Date of mortgage: \_\_\_\_\_

b. Scheduled maturity (payoff) date: \_\_\_\_\_

c. Present monthly payment amount: \_\_\_\_\_

d. Current principal balance: \_\_\_\_\_

e. Current interest rate: \_\_\_\_\_

11. Other factors I/we wish the Board to consider in this case are:

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**C. APPEAL OF DECISION OF BUILDING INSPECTOR** *(This section to be completed for an appeal, only. Use additional pages, if needed.)* Not applicable

1. Name and position of official making the decision:

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2. Nature of decision:

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3. The decision described above is hereby appealed because:

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**D. INTERPRETATION OF ZONING CODE** *(This section to be completed for an interpretation, only. Use additional pages, if needed.)*

1. Section(s) to be interpreted: \_\_\_\_\_

2. An interpretation of the Zoning Code is requested because:

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**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Chabad of the Heights		
Project Location (describe, and attach a general location map): 34 North Ridge Road, Pomona NY 10970 - at the northwest corner of Overlook Road and North Ridge Road		
Brief Description of Proposed Action (include purpose or need): Construction of Neighborhood House of Worship and accessory parking lots		
Name of Applicant/Sponsor: Eliezer Steinmetz		Telephone:
		E-Mail:
Address: 34 North Ridge Road		
City/PO: Pomona	State: NY	Zip Code: 10916
Project Contact (if not same as sponsor; give name and title/role): Mark Moseson		Telephone: (845) 494-9996
		E-Mail: mark@landmarknyc.net
Address: 7 Cheesecote Lan		
City/PO: Pomona	State: NY	Zip Code: 10970
Property Owner (if not same as sponsor): Eliezer Steinmentz		Telephone:
		E-Mail:
Address: 34 North Ridge Road		
City/PO: Pomona	State: NY	Zip Code: 10970

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Village Of Pomona Board of Trustees - Special Permit Use	August 2025
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Village of Pomona Planning Board - Site plan	August 2025
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Rockland County Department of Health - Mosquito Control	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
R-40

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Ramapo CSD

b. What police or other public protection forces serve the project site?  
Pomona

c. Which fire protection and emergency medical services serve the project site?  
Hillcrest

d. What parks serve the project site?  
Redwoods Park; Cheesecote Mountain Town Park; Burgess Meredith Park; Harriman State Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Community Service - House of Worship

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 1.04 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 0.8 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 1.04 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ 24 months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures one

ii. Dimensions (in feet) of largest proposed structure: 30 height; 62 width; and 80 length

iii. Approximate extent of building space to be heated or cooled: 10,000 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 1130 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Veolia
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 1130 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: Joint Regional Sewage Plant
- Name of district: Haverstraw Joint Regional
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

Yes  No  
 Yes  No  
 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 none  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)
- Describe types of new point sources. \_\_\_\_\_
- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_
  - If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
  - Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_
- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_
- Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

---

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

---

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

N/A

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

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ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

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iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 8am - 6pm _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7am - 10:30pm _____</li> <li>• Saturday: _____ 8am - 7:30pm _____</li> <li>• Sunday: _____ 7am - 10:30pm _____</li> <li>• Holidays: _____ 7am - 10:30pm _____</li> </ul>
--	--

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 Typical construction related noise (Monday - Thursday 8am-6pm and Friday 8am-2pm)  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Parking lot and security lighting; mounting height approximately 15'  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes: N/A  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes: N/A  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_
- ii. Anticipated rate of disposal/processing:
  - \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
  - \_\_\_\_\_ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_
- ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_
- iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_
- v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)
- Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.2	0.4	+0.2
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: Landscaping	0.8	0.6	-0.2

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 0-10 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ 5%

c. Predominant soil type(s) present on project site:

Paxton fine sandy loam	_____	20 %
Chatfield-Rock outcrop complex	_____	80 %
_____	_____	%

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 10 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 85 % of site  
 10-15%: \_\_\_\_\_ 10 % of site  
 15% or greater: \_\_\_\_\_ 5 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

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i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: Sole Source Aquifer Names: Ramapo SSA \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: deer _____ birds _____ squirrels _____ chipmunks _____	_____ _____ _____
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____ ii. Source(s) of description or evaluation: <u>NYSDEC Environmental Resource Mapper</u> iii. Extent of community/habitat: <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes: i. Identify resource: <u>Cheesecote Mountain Town Park</u> ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>State Park</u> iii. Distance between project and resource: _____ <u>0.27</u> miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

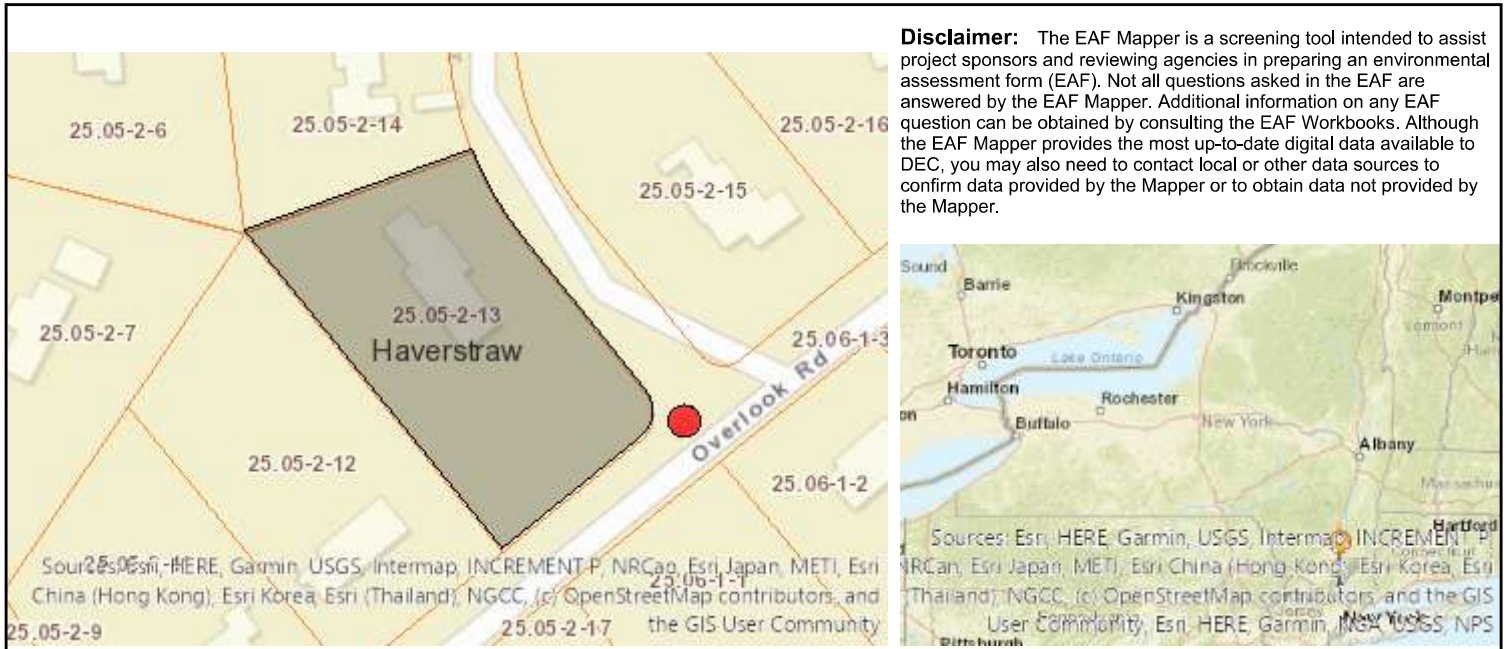
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Stuart Strow, PE Date 6/26/25

Signature *Stuart Strow* Title Engineer



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.h.ii [Surface Water Features]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.h.iii [Surface Water Features]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names:Ramapo SSA
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



June 1, 2026

Narrative Summary  
**Chabad of the Heights**  
**34 North Ridge Road**  
**(Tax Lot 25.05-2-13)**

The Chabad of the Heights project was last reviewed by the Planning Board at the May 14, 2026 meeting. The site plans have been revised in accordance with the previous review comments. Responses to the review letters and comments are provided in **bold** below.

**Nelson Pope Voohiss, memorandum dated 5/17/26:**

1. 9/2025 - In order to verify compliance with the conditions of §130-10H(5) and (7) the following submission material should be provided :

- a. A landscape plan (including trees to be removed)
- b. A lighting plan

5/2026 – Lighting and Landscape plans were provided with the April 2026 submission, however the landscaping plan did not identify existing trees to remain. Please provide.

**Trees to remain have been identified on landscaping plan.**

2. 9/2025 - The curbline shown on the site plan at the intersection of North Ridge and Overlook does not seem to be reflected by field conditions. 5/2026- Comment remains.

**The curbline has been revised to reflect the actual condition.**

3. 9/2025 - The approximate locations of the curbcuts, driveways, and residences on N/F Arnowich and Jacob should be provided. 5/2026 – Comment remains.

**Approximate locations of curbs, driveways, and residences have been added.**

4. 9/2025 - It appears that the applicant will need to propose retaining walls or engineered slopes along the site boundaries to support the spot elevations shown on the “Overlook Road” parking area. The applicant should provide a grading plan and details of the retaining walls, including the appearance of the wall. 5/2026 – Comment remains.

**The grading plan has been revised. A retaining wall will not be necessary to support the parking lot on the southern side of the property.**

5. 9/2025 - The applicant should clarify if any signage other than that shown on building elevations is proposed. 5/2026 – Comment remains.

**No other signage is proposed.**

6. 9/2025 - The Building Inspector indicates that the parking calculation is incorrect, not including the full sanctuary space as a basis for the calculation. We agree and believe that 15 parking spaces are required. This should not impact the plan as 29 spaces are provided. 4/2026 – Updated site plan did not provide resubmitted first floor floorplans, so it is assumed these are unchanged from the September 2025 submission. The parking calculation on sheet 1 still calculates sanctuary spaces based on 2,156 square feet where approximately 3050 square feet of main sanctuary is

proposed. It appears that the applicant may be omitting the women's section from the calculation, which would be contrary to the intent of the parking standard, which is to capture the total assembly area that may be occupied concurrently. **5/2026** – The updated architectural plans indicate that the sanctuary space will total 3,053 square feet and 15 parking spaces are required. An updated site plan showing the correct parking calculation has not been received. **The parking calculation on the site plan has been updated.**

7. 9/2025 - Concurrent with its issuance of a special permit, the Village Board of Trustees may prohibit on-street parking on one side of the Overlook Road and/or North Ridge Road within 750 feet of the synagogue's main entrance, to ensure adequate room for passage of emergency vehicles, during times when on-street parking may occur. **5/2026** – Comment remains.

**This matter is to be determined by the Village Board. No response from applicant required.**

8. 4/2026 – The average, max and min footcandles calculated on sheet 3 of the lighting plan seems to be for the entire lot as opposed to just the hardscape areas that are intended to be lit. The average and minimum lighting levels of just the parking areas and sidewalks should be provided. The plan proposes minimum illumination of most hardscape areas at 2.0 footcandles with only edges and corners at 1.0 footcandle or slightly less. This is excessive. With total hardscape area to be lit of just 12,000 square feet, total lumens of the proposed fixtures should not exceed 30,000 lumens (2.5 lumens per square feet) and ideally would be closer to 20,000 lumens, given the low-density single-family nature of the neighborhood. The applicant is proposing approximately 70,000 total lumens, more than twice the typical standard for a suburban multifamily neighborhood and more consistent with an industrial area. We recommend the applicant consider eliminating three of the seven fixtures and consider installing different optics to more efficiently light the area. We recommend that color temperature be limited to 3000k to be more compatible with the residential area. Excessive blue light can impact neighbor's sleep and cast excessive glare on wet surfaces.

**5/2026** – Comment remains.

**The lighting levels will be reconsidered in accordance with the recommendations. The applicant requests that revision to the lighting be considered as a condition to any approval.**

9. 4/2026 - The applicant should identify existing vegetation to remain. In most instances retaining existing mature vegetation will be more protective of neighbors than planting extensive and unnatural looking privacy screens. For example, if trees can be retained along the property boundary with n/f Arnovich, it may be better to install a privacy fence than to plant a double row of green giant thuja. The applicant may also wish to consider Ilex Glabra (inkberry holly) as a native NY alternative to boxwood that is resistant to boxwood blight and box tree moth. **5/2026** – Comment remains.

**The additional landscaping has been provided in response to previous comments from the Planning Board and consultants. Existing trees along the westerly and northerly property lines are proposed to remain.**

10. 9/2025 - The previously approved special use permit seems to be significantly different than the project currently proposed, which appears to be an Unlisted Action. The previously approved special use permit had the Village Board assume lead agency for the project SEQR review. We question whether a conforming plan would require separate issuance of a special use permit (see our comment 10 on the 9/2025 memo) and whether the applicant wishes to amend its plan to conform with the code to avoid the need for variances and/or possibly be able to proceed under

the existing Special Use Permit. Until we receive feedback on those two questions, we are deferring recommendations on how to proceed with SEQR vis-à-vis, which agency should serve as lead agency, etc. 5/2026 – Comment addressed. With the April 2026 submission, the applicant indicated that they are seeking a special use permit.

**No response required from applicant.**

11. **5/2026** - We have prepared and attached a Part 2, Part 3 and Negative Declaration for consideration by the Board of Trustees.

**No response required from applicant.**

12. 9/2025 - The application does not appear to require County Planning review pursuant to GML 239.

**Applicant agrees that GML review is not required for the project.**

**Spence Engineering, memorandum dated 5/14/26:**

S-1. Provide willingness to serve letters from water and sewer utilities.

**The project is currently served by existing water and sewer service. Willingness to serve letters will be provided as may be required as the project progresses in the review process.**

S-2. Provide approval from Rockland County Department of Health for the mosquito code.

**The mosquito control application will be submitted to Rockland County Health Department upon receipt of the approval resolution, as required.**

S-3. Provide properties and zones within 500' of the property on the vicinity map.

**Properties and zones within 500 feet of the property have been provided on a vicinity map.**

S-4. Provide standard site plan notes. **Standard site plan notes have been added.**

S-5. Provide notes that the curbing along North Ridge Road and Overlook Road shall be replaced if found in poor condition during construction. **The notes have been added.**

S-6. On site curb should be granite block curb. **A granite block curb detail has been added.**

S-7. Provide sight distance at both exits. **A table of sight distances has been added.**

S-8. Route CB1 and CB2 to onsite system, or provide a smaller system on the southern portion of the site.

**The site was previously developed with a single-family dwelling and circular driveway. The impervious surfaces from the original development drained directly to the stormwater collection system in North Ridge Road. The proposed grading allows the southerly parking lot to connect directly to the existing stormwater collection system. The proposed stormwater management system provides zero-net increase in peak discharges from the project site, as required. while still meeting the zero-net increase requirements.**

S-9. Show limits of disturbance and total disturbed area. **The disturbance limit line and total disturbed area have been added.**

S-10. Provide silt fence at the limits of disturbance. **Silt fence at limits of disturbance has been added.**

S-11. Show existing trees and existing trees to be removed. **Existing trees and existing trees to be removed are shown.**

S-12. Incorporate a landscape berm for the green giants along the west property line. **A landscape berm has been added.**

S-13. Add more Green Giants at the north and south limits of the western property line. Green giants should be 7'-8' in height. **More Green Giants have been added along the western property line. The height of 7'-8' has been added to the planting schedule.**

S-14. Show snow storage on the landscaping plans. **Snow storage areas are shown on landscape plan.**

S-15. Incorporate a note stating that the Village Engineer may require additional landscaping and screening at time of construction to meet the intent of the Planning Board Approval. **The note has been added.**

S-16. Provide a block curb detail. **A block curb detail has been added.**

S-17. Provide a light pole detail. **A light pole detail has been added.**

S-18. Clearly show the property line on the lighting plan. **The property line on the lighting plan has been revised.**

S-19. Provide a time, to be determined by the Board, when parking lot lighting shall be shut off. **The times are to be determined by the Planning Board.**

S-20. Provide fire truck turning templates, entering the site from both streets. **A Fire Truck Maneuvers Plan has been added.**

S-21. Provide a stormwater system analysis. **A stormwater system analysis is provided with this submittal.**

We look forward to the opportunity to continue the review of this project at the next available Planning Board meeting.

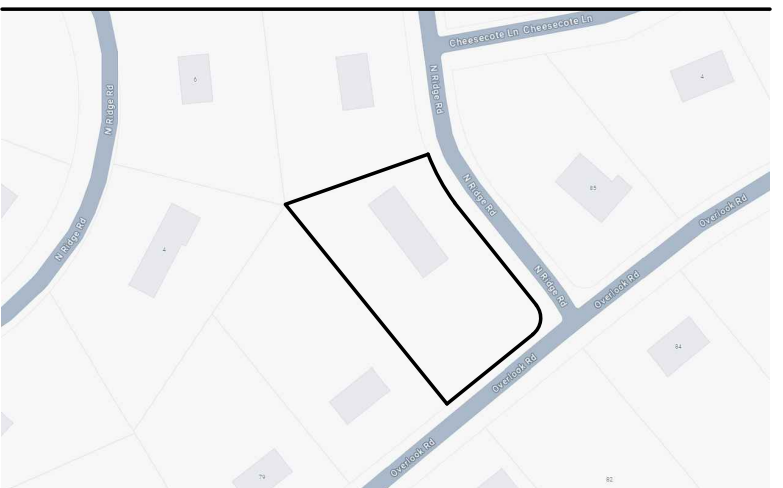
Sincerely,



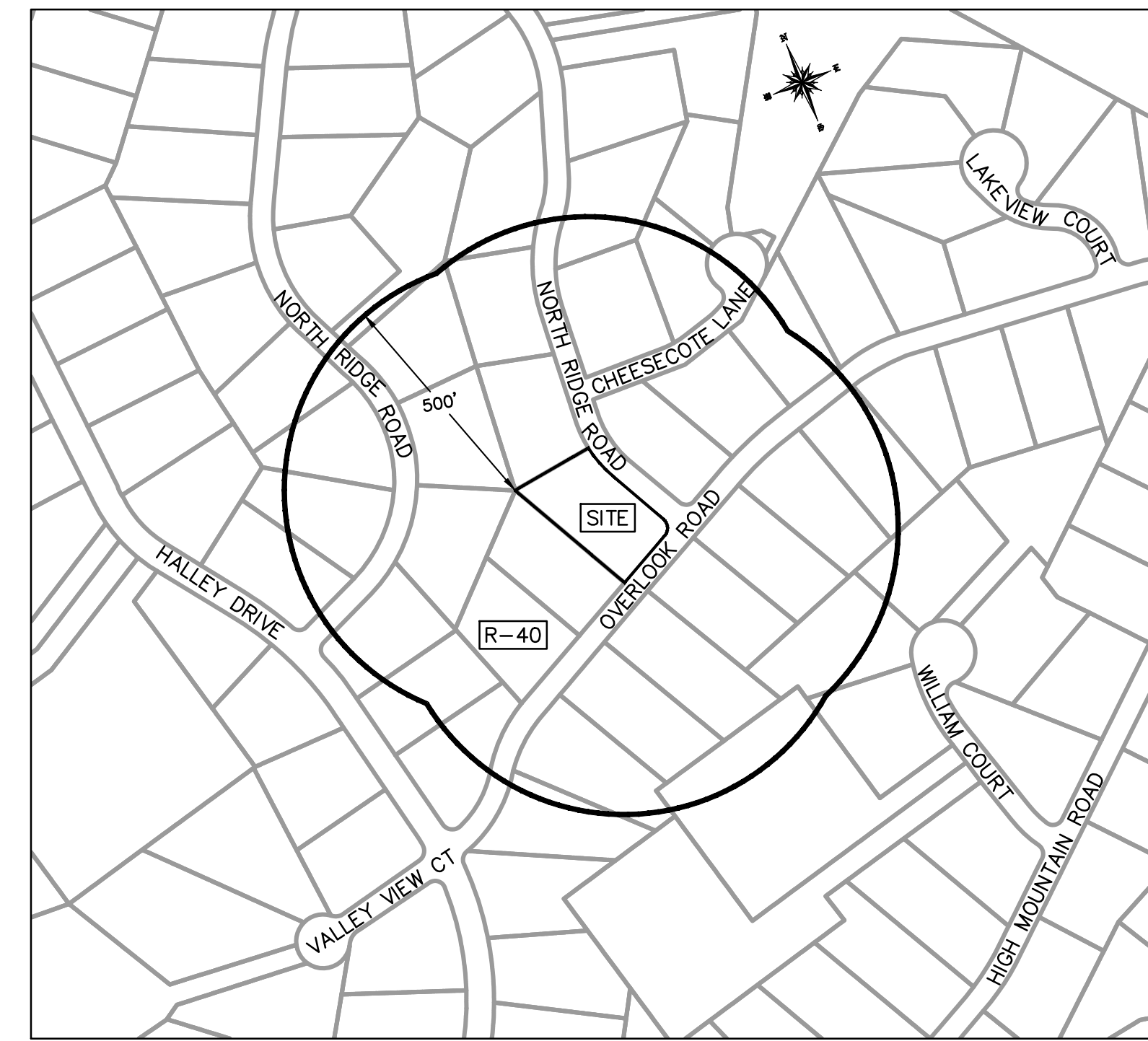
**Civil Design Works, LLC**

Stuart Strow, P.E.

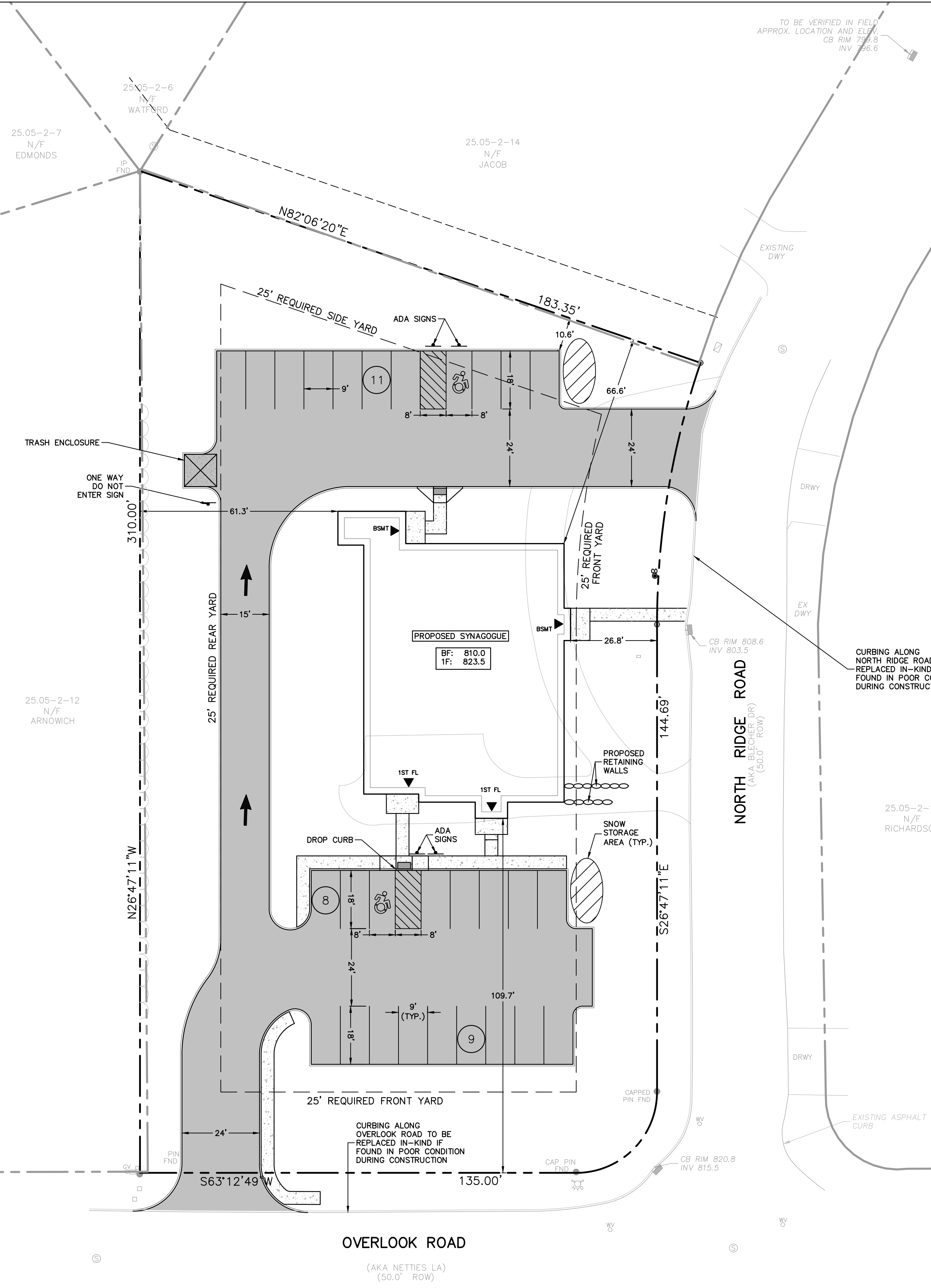
Principal



PROJECT LOCATION



VICINITY MAP  
SCALE: 1"=300'



**GENERAL NOTES:**

- THIS IS LOT 13 IN BLOCK 2 OF SECTION 25.05 AS SHOWN ON THE TOWN OF HAVERSTRAW TAX MAP.
- AREA OF PARCEL..... 1.04 ACRES (45,477 SF)
- ZONE ..... R-40
- USE ..... NEIGHBORHOOD HOUSE OF WORSHIP
- RECORD OWNER ..... ELIEZER STEINMETZ  
34 N. RIDGE ROAD  
POMONA, NY 10970
- APPLICANT ..... SAME
- FIRE DISTRICT ..... MOLESTON FIRE DISTRICT
- SCHOOL DISTRICT ..... EAST RAMAPO SCHOOL DISTRICT
- WATER DISTRICT ..... VEOLIA
- WATER SUPPLY ..... VEOLIA
- SEWER DISTRICT ..... HAVERSTRAW JOINT REGIONAL
- DATUM ..... NAVD 88
- ALL UTILITIES UNDERGROUND. ELECTRIC SERVICE SHALL BE IN A CONDUIT OF NOT LESS THAN 2" DIAMETER.
- THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE, EXCEPT AS SHOWN ON THESE PLANS. PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- PROPERTY LINE, TOPOGRAPHY AND PLANIMETRIC FEATURES TAKEN FROM A SURVEY PREPARED BY JAY A. GREENWELL, PLS, LLC DATED MARCH 24, 2022.
- ALL CONSTRUCTION SHALL MEET CURRENT VILLAGE OF POMONA SPECIFICATIONS.
- ALL LIGHTING SHALL BE IN CONFORMANCE WITH VILLAGE OF POMONA STANDARDS.
- NO SIGNS OTHER THAN THOSE SHOWN ON THIS DRAWING ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE PLANNING BOARD.
- SNOW FENCING TO BE INSTALLED AT CLEARING LIMIT LINE AND AROUND ALL TREES TO REMAIN. LOCATION TO BE VERIFIED BY VILLAGE ENGINEERING CONSULTANT PRIOR TO CONSTRUCTION.
- ANY TREE THAT IS REMOVED IN VIOLATION OF A CLEARING LIMIT LINE, TREE MAP OR LANDSCAPING PLAN SHALL BE REPLACED WITH ONE OR MORE OF SIMILAR SIZE AND SPECIES TO BE DETERMINED BY THE PLANNING BOARD. NO WORK SHALL BE PERFORMED ON THE SITE UNTIL THE PLANNING BOARD HAS APPROVED THE PLAN FOR TREE REPLACEMENT AND HAS DETERMINED WHEN THE PLANTING SHALL TAKE PLACE.
- FOUR (4") INCHES OF TOPSOIL SHALL BE PROVIDED PRIOR TO SEEDING.
- NO BURNING OR BURYING OF TREES, STUMPS, PAYMENT, DEBRIS OR ANY MATERIALS IS PERMITTED ON THE SITE.
- A PRE-CONSTRUCTION MEETING IS TO TAKE PLACE WITH THE VILLAGE ENGINEER'S OFFICE TO DISCUSS CLEARING AND SCOPE OF WORK.

**BULK TABLE**

ZONE: R-40 USE: NEIGHBORHOOD HOUSE OF WORSHIP

	MINIMUM LOT AREA SF	LOT WIDTH FT	LOT FRONTAGE FT	LOT DEPTH FT	FRONT YARD FT	TOTAL SIDE YARD FT	REAR YARD FT	BUFFER FT	BLDG. COV. %	FLOOR AREA RATIO (FAR)	MAXIMUM HEIGHT FT	LOT COVERAGE %	PARKING
REQUIRED	32,670	150	100	140	25	50	25	5	15	0.25	35	50	15
PROVIDED	45,477	259.2	401.4	183.3	27	N/A	66	63	5	11.4	0.195	46.5	28

**LOT COVERAGE CALCULATIONS:**  
IMPERVIOUS SURFACE / LOT AREA = LOT COVERAGE

PROPOSED BUILDING = 5,161 S.F.  
PARKING LOTS = 14,850 S.F.  
SIDEWALKS = 1,019 S.F.

TOTAL IMPERVIOUS SURFACE = 21,130 S.F.

LOT COVERAGE = ( 21,130 S.F. / 45,477 S.F. ) X 100 = **46.5%**

**FLOOR AREA RATIO CALCULATIONS:**  
GROSS FLOOR AREA / LOT AREA = F.A.R.

GROSS FLOOR AREA = 8,836 S.F.

F.A.R. = (8,836 S.F.) / (45,477 S.F.) = 0.195

NOTE: GROSS FLOOR AREA PROVIDED BY ARCHITECT

**BUILDING COVERAGE CALCULATIONS:**  
BUILDING FOOTPRINT / LOT AREA = LOT COVERAGE

PROPOSED BUILDING = 5,161 S.F.

BUILDING COVERAGE = (5,161 S.F. / 45,477 S.F. ) X 100 = **11.4%**

**BUILDING HEIGHT CALCULATIONS:**  
AVERAGE ELEVATION OF FINISHED GRADE = 811.0

ROOF ELEVATION = 846.0

BUILDING HEIGHT = (846.0 - 811.0) = 35 FEET

NOTE: BUILDING HEIGHT MEASURED ALONG FRONTAGE ON NORTH RIDGE ROAD AND OVERLOOK ROAD

**SIGHT DISTANCE SUMMARY TABLE - EXISTING DRIVEWAYS**

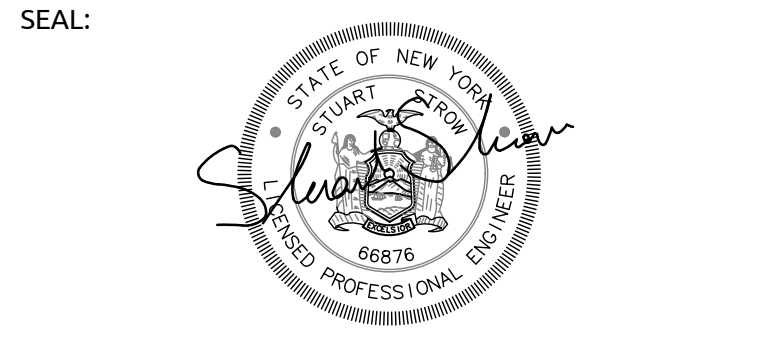
ROADWAY DESIGN SPEED 30 MPH	AVAILABLE SIGHT DISTANCE (-FEET)	AASHTO SIGHT DISTANCES	
		STOPPING SIGHT DISTANCE (FEET)	INTERSECTION SIGHT DISTANCE (FEET)
OVERLOOK ROAD DRIVEWAY	LOOKING LEFT	500±	335
	LOOKING RIGHT	350±	335
NORTH RIDGE ROAD DRIVEWAY	LOOKING LEFT	400±	335
	LOOKING RIGHT	225±	335

NOTES:  
1) BASED ON THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO), 7TH EDITION 2018.  
2) AASHTO SIGHT DISTANCES ARE BASED ON 30 MPH OPERATING SPEED.

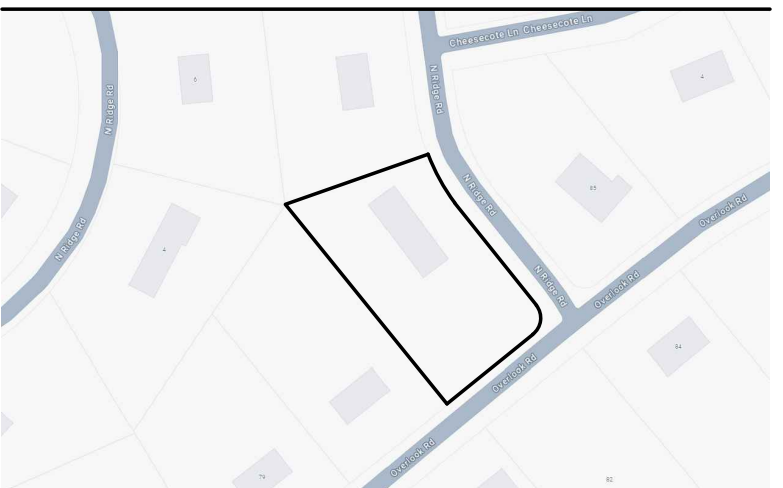
**PARKING CALCULATION**

USE	REQUIRED	PROVIDED
NEIGHBORHOOD HOUSE OF WORSHIP	MINIMUM OF TEN SPACES, OR ONE SPACE FOR EVERY 200 SQUARE FEET OF FLOOR AREA OF THE MAIN SANCTUARY OR HALL WHERE SERVICES ARE CONDUCTED, WHICHEVER IS GREATER	28 SPACES
	MAIN SANCTUARY FLOOR AREA = 3,053 SF (3,053 SF)/200 = 16 SPACES	
	PARKING SPACES REQUIRED = 16	

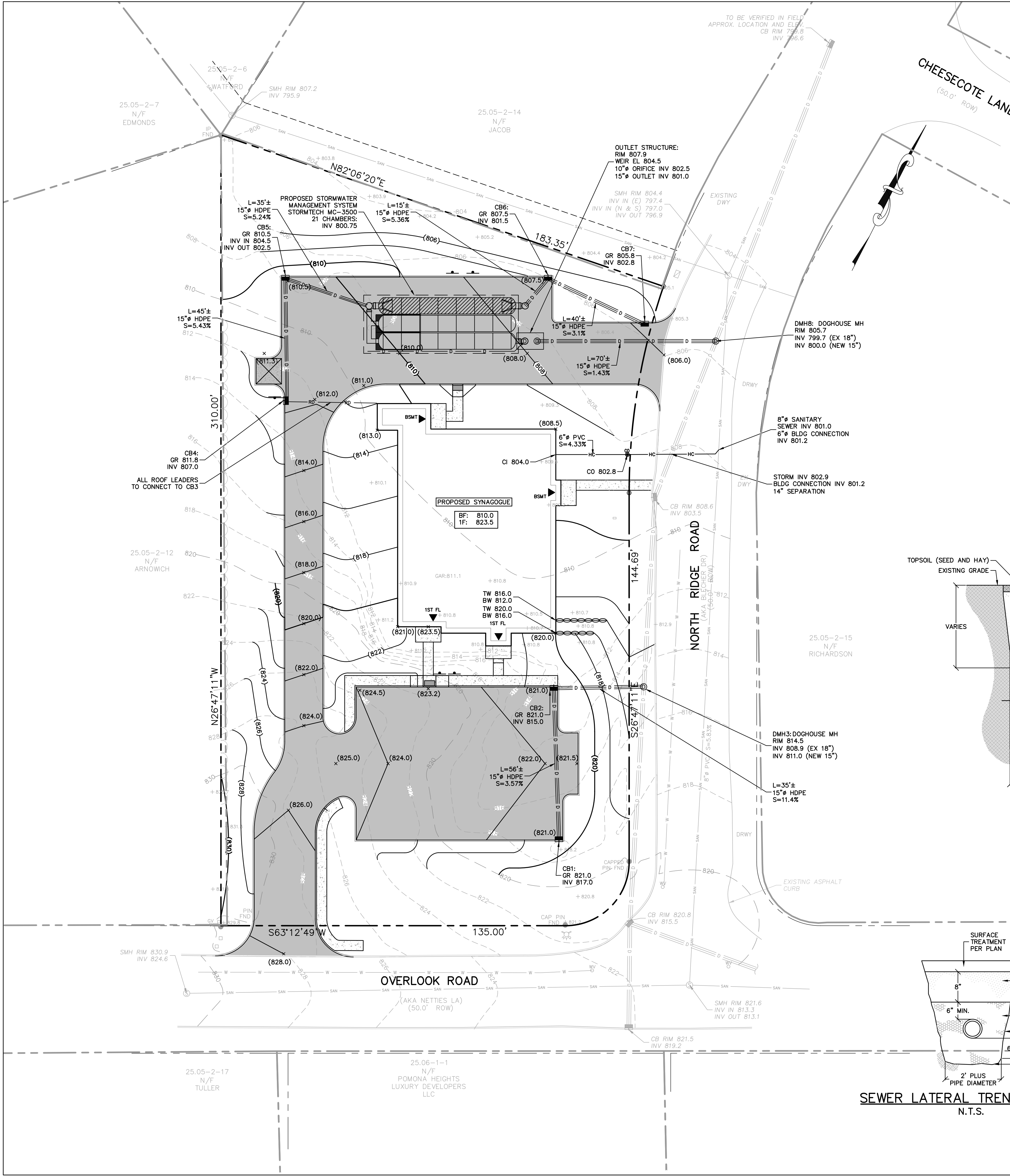
REV	DESCRIPTION	BY	DATE
6	AS PER REVIEW COMMENTS	SM	5.28.2026
5	FOR SITE PLAN APPROVAL	MS	5.7.26
4	ADDED WEST D'WAY; REMOVE SUB-BSMT	SS	4.1.26
3	FLOOR AREA REVISION	SS	12.30.25
2	ADDED LANDSCAPING PLAN	SS	12.01.25
1	AS PER TAC REVIEW COMMENTS	SS	10.13.25
	ORIGINAL SUBMITTAL	SS	8.14.24



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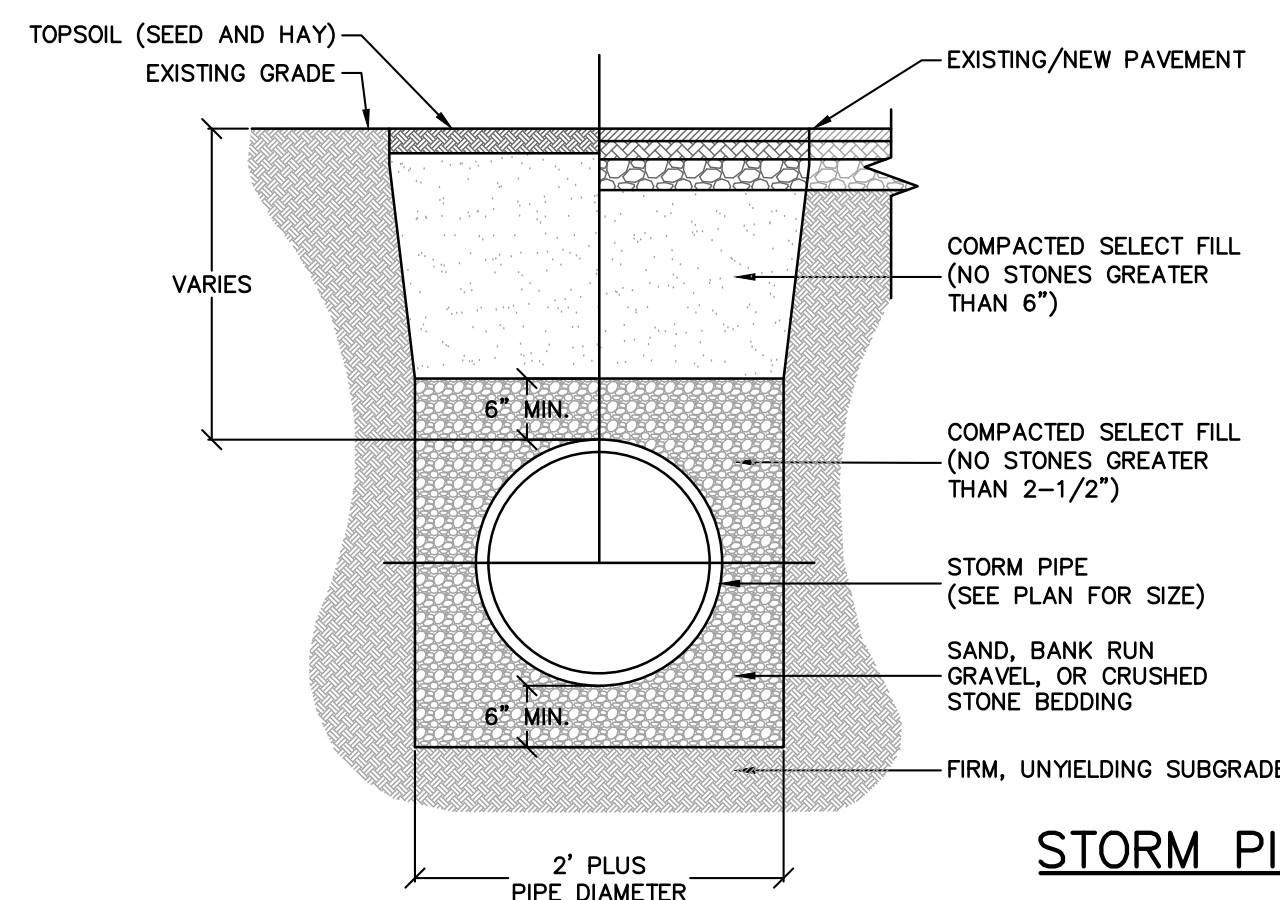


PROJECT LOCATION



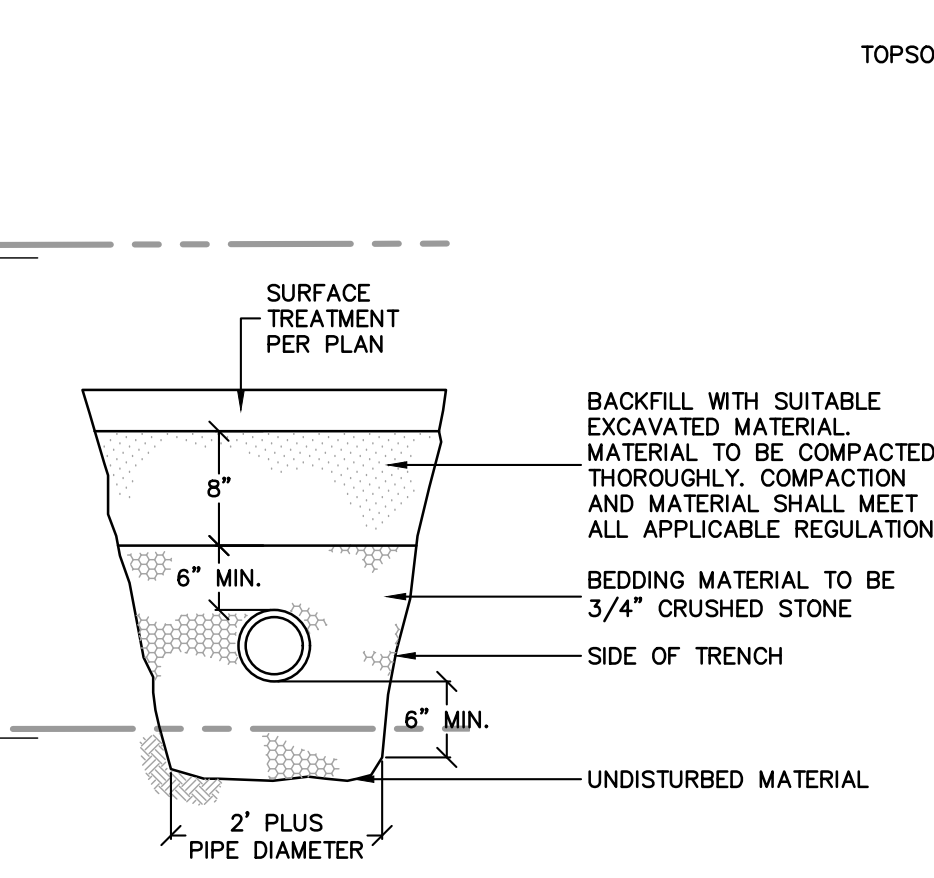
- CONSTRUCTION NOTES:**
- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AND VERIFY ALL LOCATIONS, ELEVATIONS, INVERTS, ETC. PRIOR TO ANY CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES ON THIS PLAN.
  - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
  - PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO EXISTING SERVICES. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
  - THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE OWNER AND ENGINEER OF ANY UNANTICIPATED UTILITIES ENCOUNTERED AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION, PROTECTION AND/OR TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED WITHIN THE WORK AREA.
  - THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH EACH AFFECTED UTILITY COMPANY, SHALL APPLY FOR AND OBTAIN THE NECESSARY PERMITS AND APPROVALS, AND SHALL INITIATE AND COORDINATE ALL INSPECTIONS NECESSARY FOR FINAL APPROVAL AND ACCEPTANCE BY THE SUBJECT UTILITY COMPANY.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONTINUOUS SERVICE OF ALL EXISTING UTILITIES WITHIN THE WORK AREA AT ALL TIMES. CONTRACTOR SHALL COORDINATE ANY REPAIR, RELOCATION OR REMOVAL OF EXISTING UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY AND PROVISIONS MUST BE PROVIDED FOR TEMPORARY SERVICE OF ANY RESPECTIVE UTILITY SERVICE AFFECTED BY THE CONSTRUCTION IN THE EVENT OF ANY DISRUPTION TO THE EXISTING UTILITY. SHUT-DOWNS SHALL BE AT THE DISCRETION OF THE RESPECTIVE UTILITY COMPANIES AND COORDINATED WITH THE MUNICIPALITY AND THE ENGINEER FOR PUBLIC NOTICE IF NECESSARY. TEMPORARY SERVICE SHALL BE PROVIDED AND MAINTAINED AT NO ADDITIONAL COST.
  - ALL STORM DRAINAGE PIPE TO BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SMOOTH INTERIOR UNLESS OTHERWISE SPECIFIED.
  - ALL ROOF LEADERS ARE TO BE CONNECTED TO THE ON-SITE STORMWATER SYSTEM. ROOF DOWNSPOUTS AND RECEIVING LEADER SIZES SHALL BE SPECIFIED BY THE BUILDING MECHANICAL ENGINEER. FINAL LOCATIONS OF ROOF LEADERS ARE TO BE FINALIZED BY CONTRACTOR. ROOF LEADER PIPES SHALL BE SDR-35 PVC.
  - WATER SERVICE LINE AND SEWER CONNECTION SHALL BE PLACED IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL DISTANCE OF TEN FEET BETWEEN THEM.
  - SANITARY SEWER PIPE SHALL BE SDR-35 PVC.
  - WATER MAIN PIPE, VALVES, FITTINGS, THRUST RESTRAINT, TAPPING SLEEVES, HYDRANTS, ETC SHALL CONFORM WITH VEOLIA STANDARD SPECIFICATIONS.
  - ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
  - ALL DIMENSIONS ARE MEASURED TO THE ROUGH UNLESS OTHERWISE NOTED. ELEVATIONS AND DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS IN THE FIELD PRIOR TO THE USE OF SUCH INFORMATION IN BIDDING OR CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL FIELD MEASUREMENTS NECESSARY TO ASSURE PROPER FIT OF FINISHED WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR ACCURACY. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES.
  - THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY MATERIALS WHICH ARE TO REMAIN IN PLACE WILL NOT BE DAMAGED. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
  - THE SITE SHALL BE KEPT CLEAN AT ALL TIMES. UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND PROPERLY DISPOSED OF AND THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.

- MOSQUITO CONTROL NOTES**
- ALL STORMWATER FACILITIES ON THIS SITE HAVE BEEN DESIGNED TO REMOVE ALL STANDING WATER WITHIN FIVE DAYS OF A RAIN EVENT.
  - ALL STORMWATER FACILITIES SHALL BE INSPECTED AFTER SIGNIFICANT RAINFALLS AND AT LEAST ONCE PER MONTH.
  - IF, UPON INSPECTION, WATER REMAINS IN THE STORMWATER FACILITIES LONGER THAN FIVE DAYS AFTER A RAIN EVENT, ONE OF THE FOLLOWING MEASURES WILL BE TAKEN:
    - THE WATER WILL BE MECHANICALLY REMOVED (I.E. BY VACUUM); OR
    - THE WATER WILL BE MECHANICALLY AGITATED TO PREVENT MOSQUITO BREEDING; OR
    - THE WATER WILL BE TREATED WITH MOSQUITO LARVICIDE IN ACCORDANCE WITH NYSDEC AND ROCKLAND COUNTY HEALTH DEPARTMENT GUIDELINES, REGULATIONS AND PROCEDURES.
  - MOSQUITO BREEDING SUPPRESSION MEASURES MUST BE IMPLEMENTED BETWEEN APRIL 1 AND OCTOBER 31.
  - LARVICIDE TO BE APPLIED SHALL BE "MOSQUITO DUNKS" AS MANUFACTURED BY SUMMIT CHEMICAL CO., BALTIMORE, MD. OR ROCKLAND COUNTY DEPARTMENT OF HEALTH APPROVED EQUAL. LARVICIDE SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - THE LONG TERM MAINTENANCE OF THE ON-SITE STORMWATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

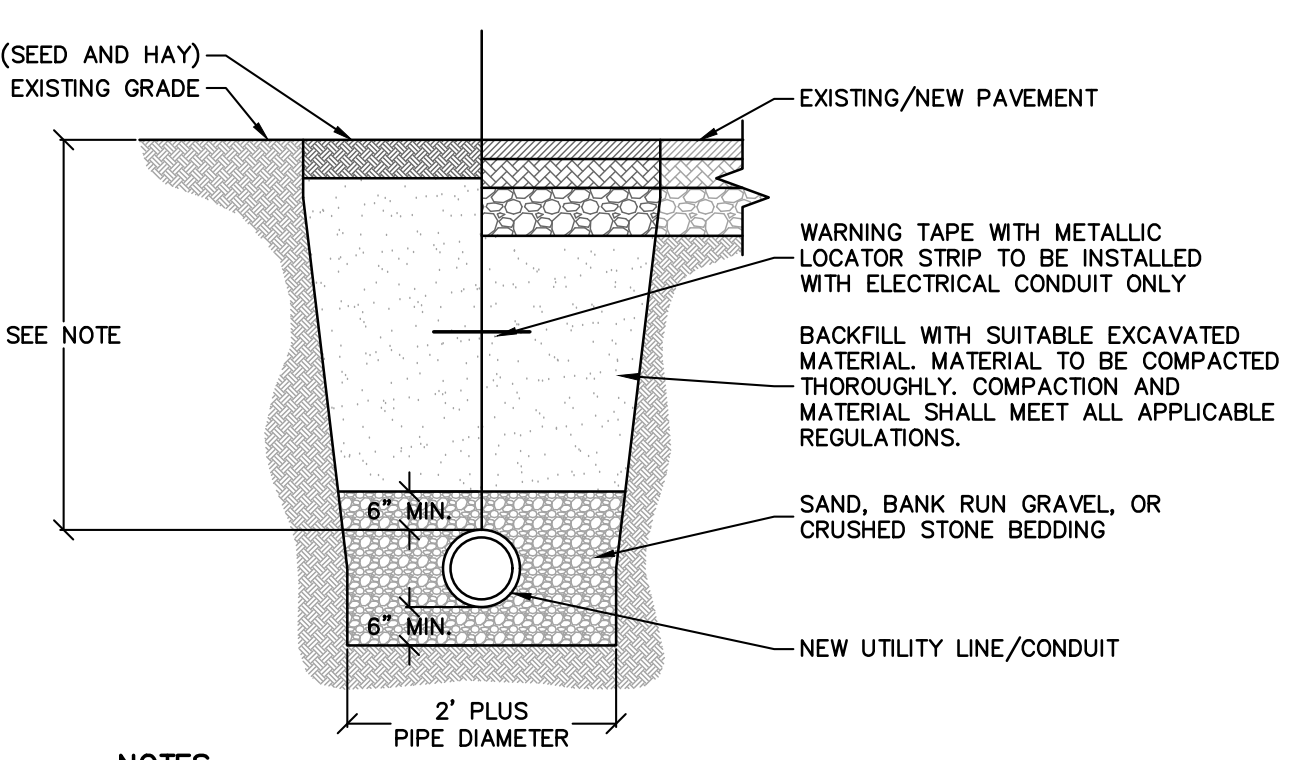


STORM PIPE TRENCH DETAIL  
N.T.S.

- NOTES:**
- ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
  - ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER RAVITY FLOW APPLICATIONS" (LATEST EDITION).
  - RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C76-15, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION). FOR NON HDPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
  - WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.
  - MINIMUM COVER IN TRAFFIC AREAS IS 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 60" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
  - CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.



SEWER LATERAL TRENCH DETAIL  
N.T.S.



UTILITY TRENCH DETAIL  
N.T.S.

- NOTES:**
- MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
    - ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY/COMPANY
    - GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY/COMPANY
    - WATER SERVICE - 4' MINIMUM

REV	DESCRIPTION	BY	DATE
6	AS PER REVIEW COMMENTS	SM	5.28.2026
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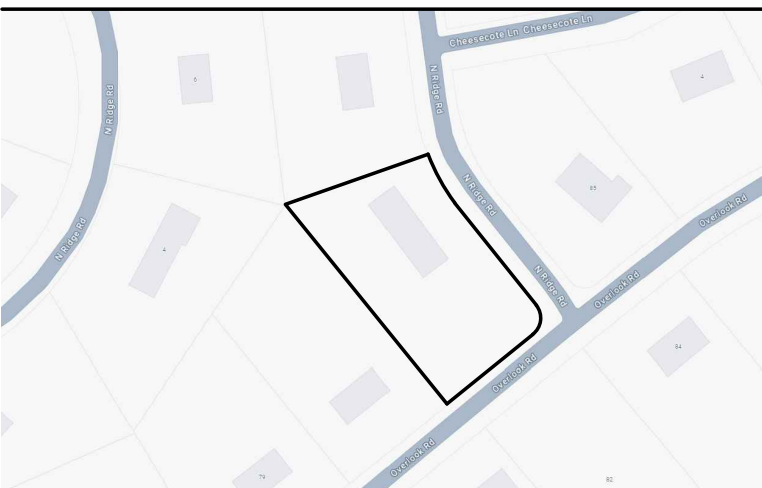
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PROJECT:  
**CHABAD OF THE HEIGHTS**  
34 NORTH RIDGE ROAD

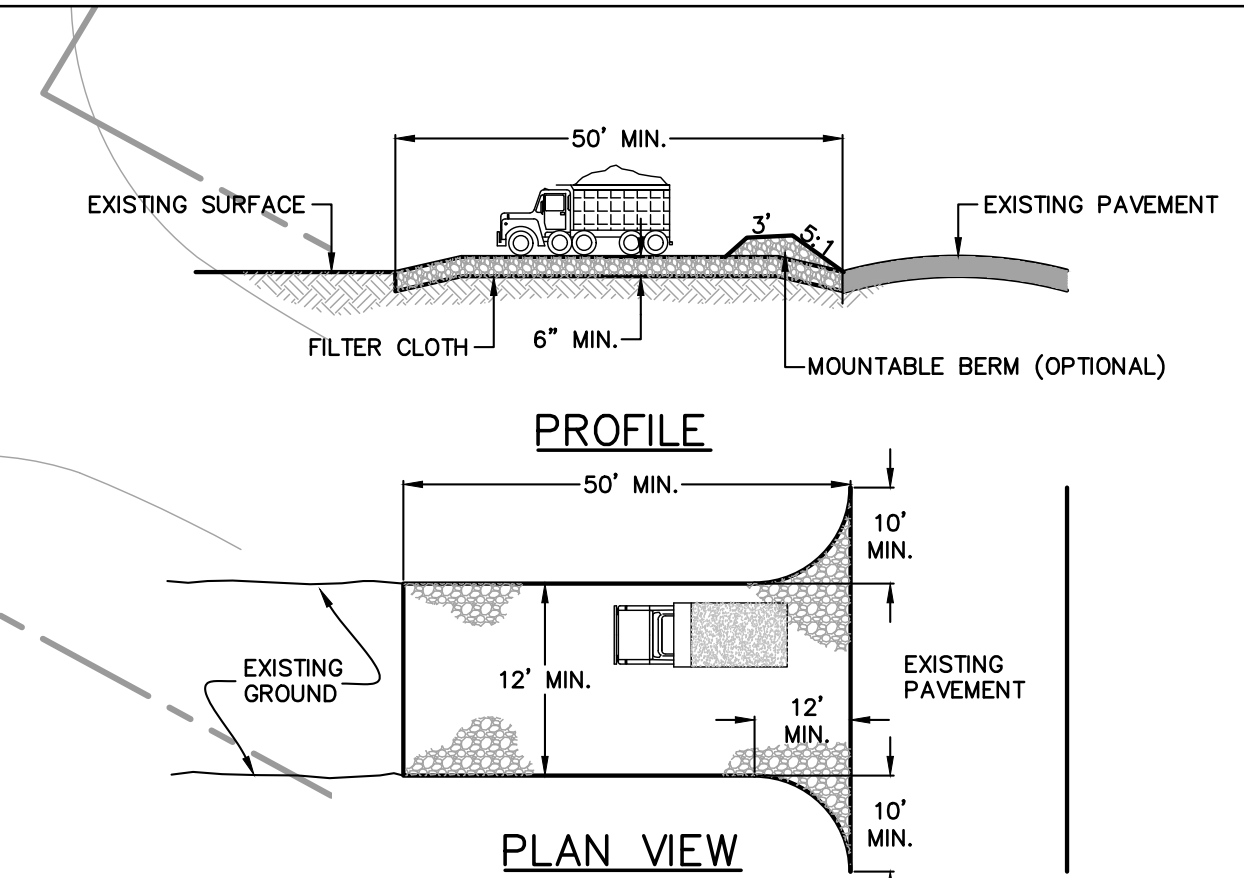
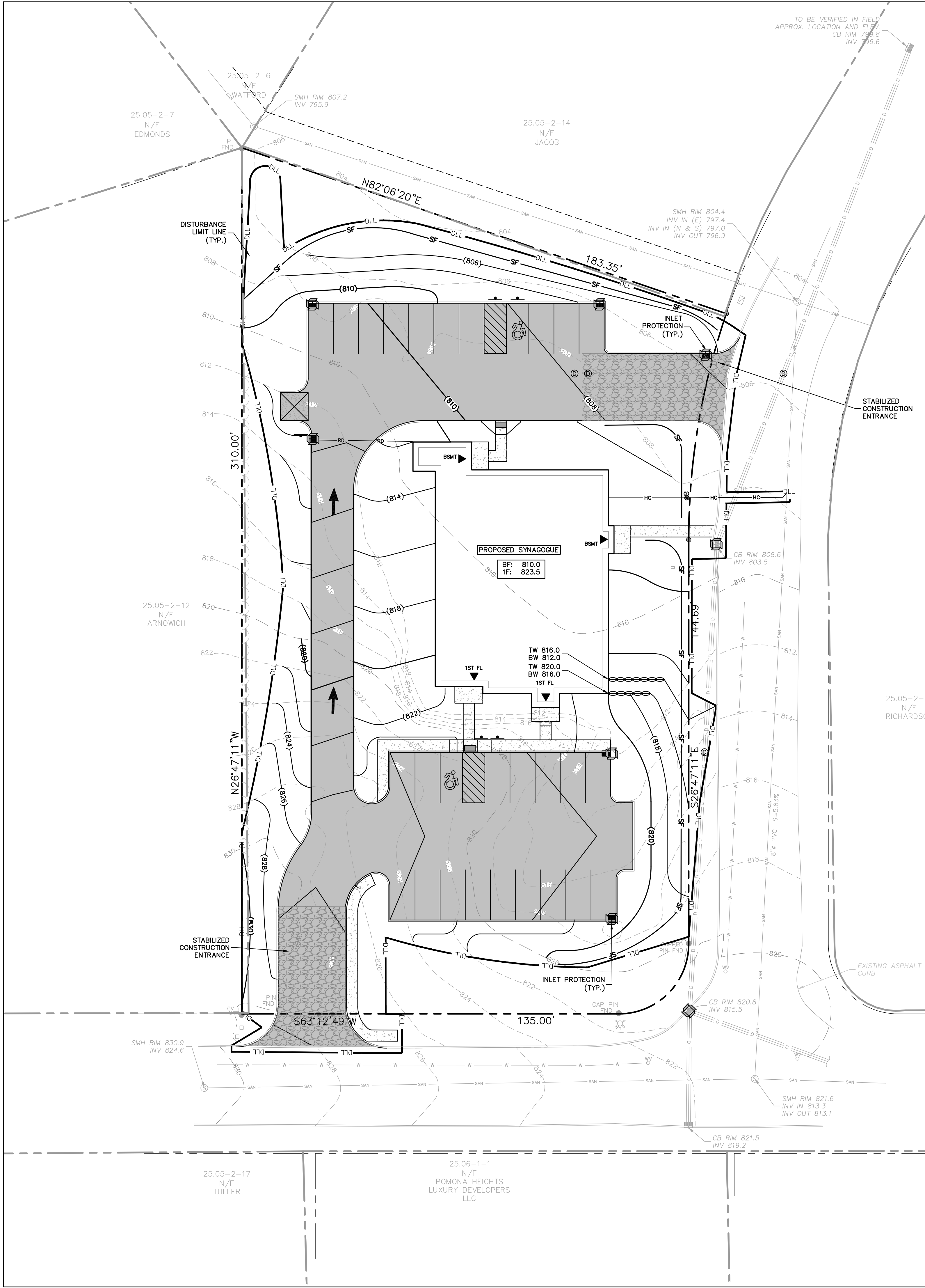
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0 20' 40'

SHEET TITLE:  
**GRADING AND UTILITY PLAN**

DRAWN BY: AG/MS CHECKED BY: SS  
DATE: 5.7.26 PROJECT NO: 2414  
SHEET NUMBER:



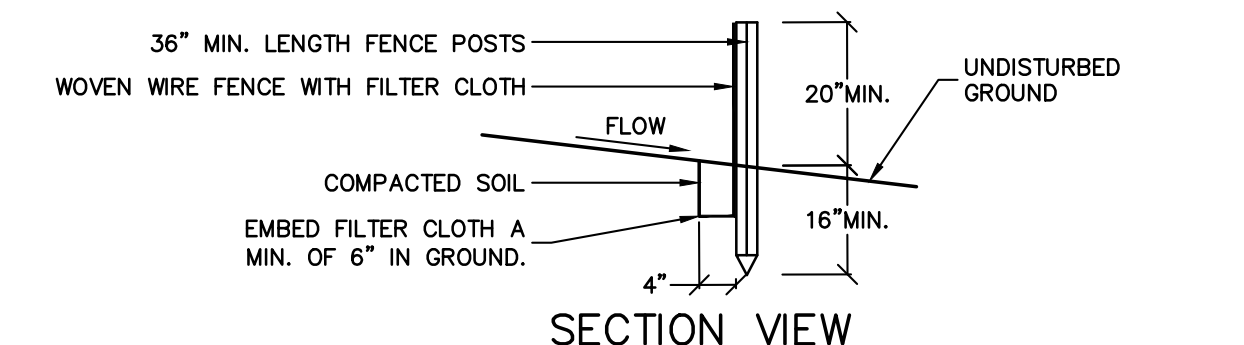
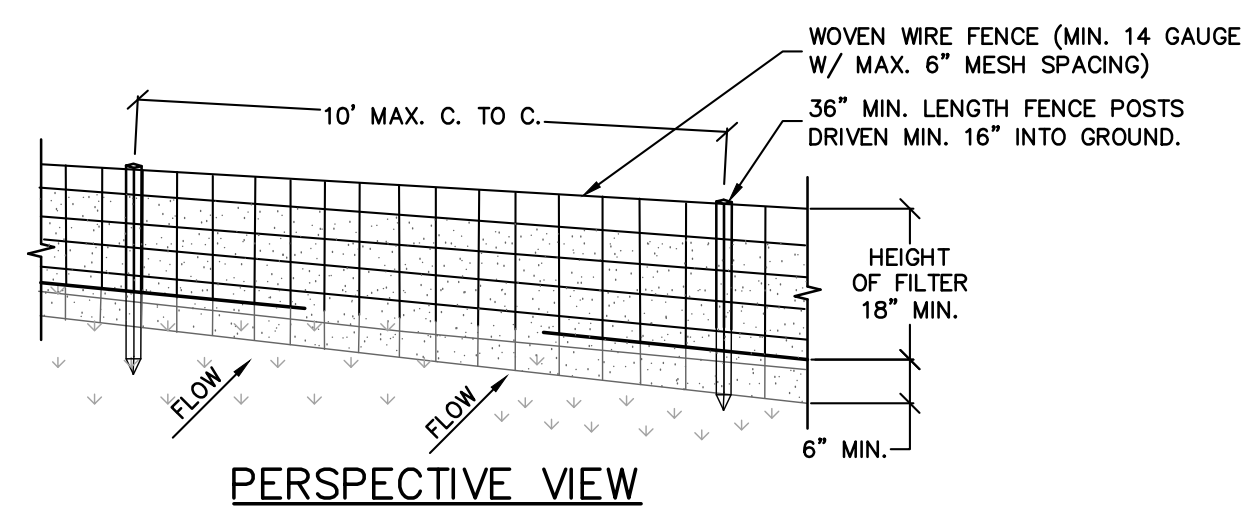
PROJECT LOCATION



- NOTES:**
1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
  3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
  4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCURS. TWENTY - FOUR (24) FOOT IF SINGLE ENTRANCE SITE.
  5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

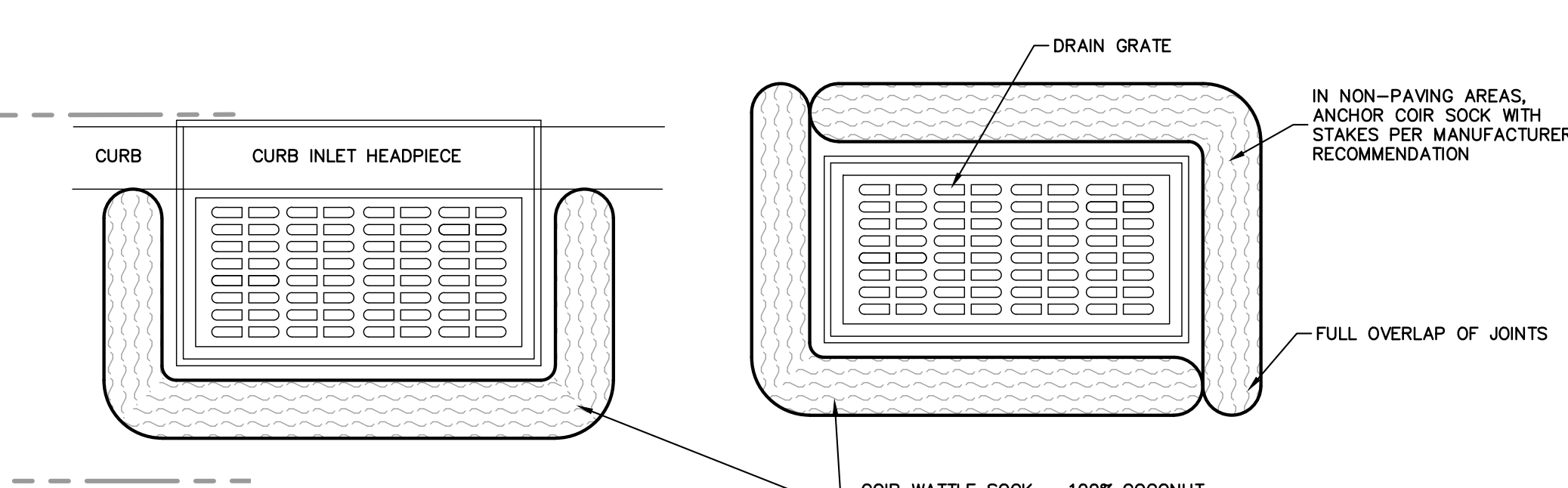
**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
N.T.S.

TOTAL AREA OF DISTURBANCE = 42,793 SF



- NOTES:**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
  2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  4. PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

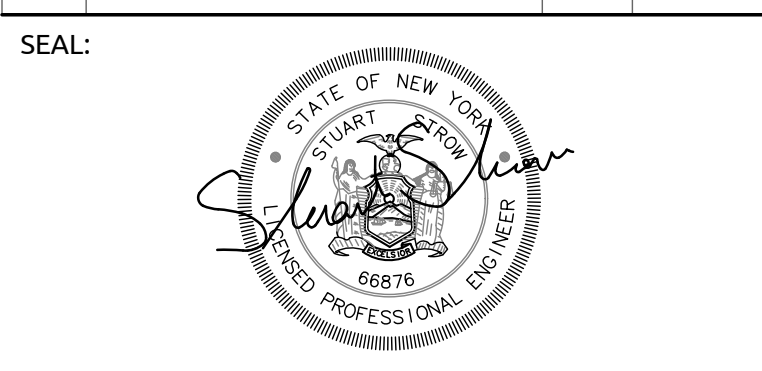
**SILT FENCE**  
N.T.S.



- NOTES:**
1. MAINTENANCE SHALL BE PERFORMED AFTER EACH STORM EVENT AND PER MANUFACTURERS SPECIFICATIONS.
  2. CURB INLET PROTECTION SOCK SHALL BE FLUSH WITH CURB FACE OR TAPERED ALONG GUTTER LINE.

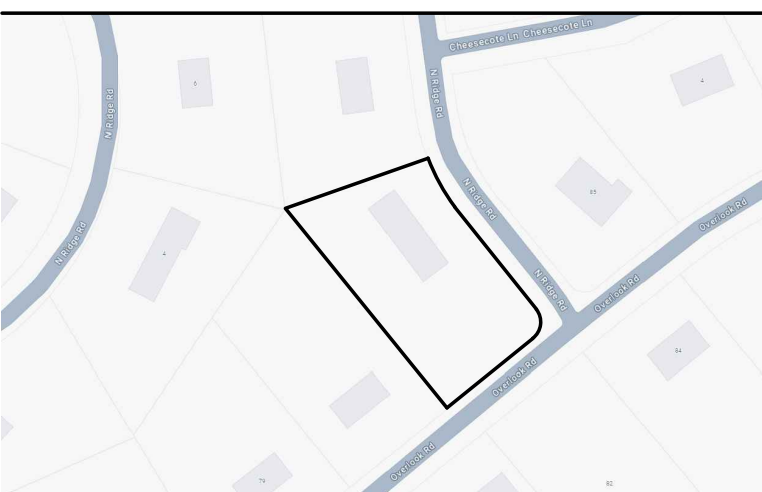
**ORGANIC FILTER INLET PROTECTION DETAIL**  
N.T.S.

REV	DESCRIPTION	BY	DATE
6	AS PER REVIEW COMMENTS	SM	5.28.2026
5	FOR SITE PLAN APPROVAL	MS	5.7.26
4	ADDED WEST D'WAY; REMOVE SUB-BSMT	SS	4.1.26
3	FLOOR AREA REVISION	SS	12.30.25
2	ADDED LANDSCAPING PLAN	SS	12.01.25
1	AS PER TAC REVIEW COMMENTS	SS	10.13.25
	ORIGINAL SUBMITTAL	SS	8.14.24

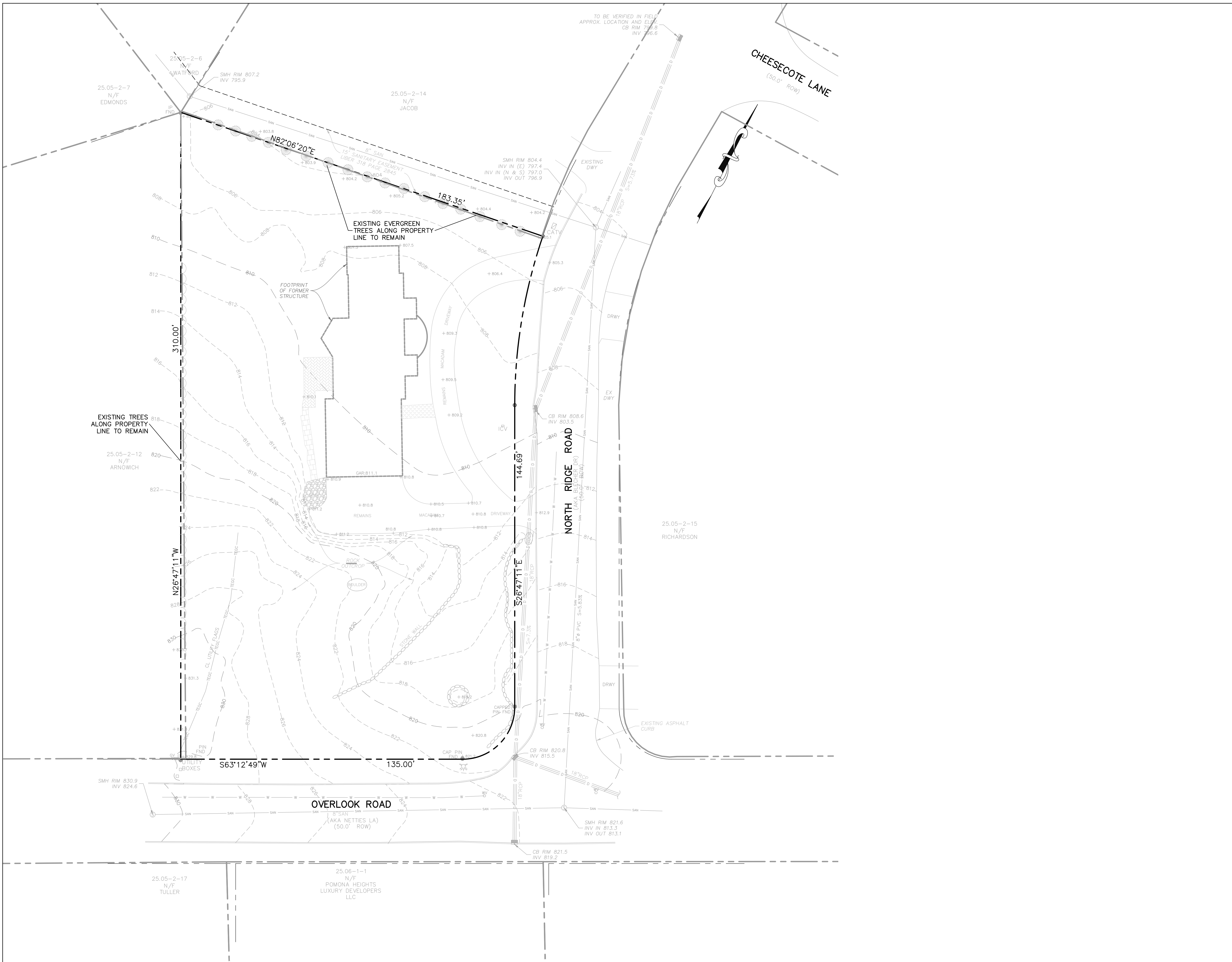


DISCLAIMER:  
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PROJECT:  
**CHABAD OF THE HEIGHTS**  
**34 NORTH RIDGE ROAD**  
VILLAGE OF POMONA  
ROCKLAND COUNTY, NEW YORK



PROJECT LOCATION



REV	DESCRIPTION	BY	DATE
6	AS PER REVIEW COMMENTS	SM	5.28.2026
5	FOR SITE PLAN APPROVAL	MS	5.7.26
4	ADDED WEST D'WAY; REMOVE SUB-BSMT	SS	4.1.26
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	ORIGINAL SUBMITTAL	SS	8.14.24

SEAL:

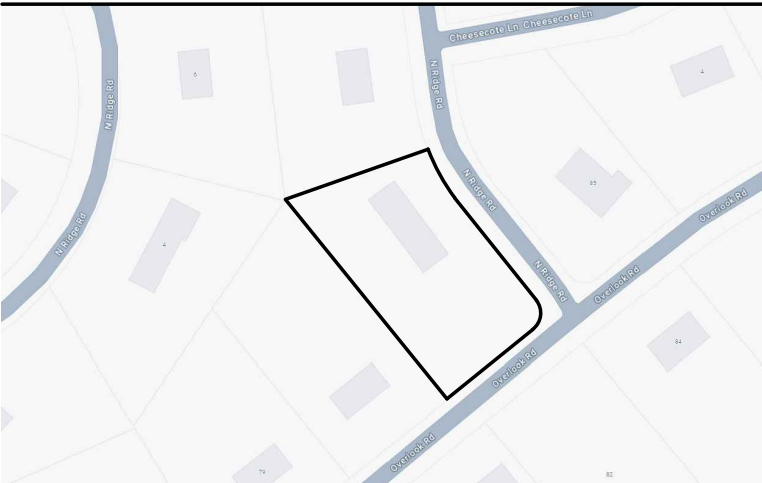
DISCLAIMER:  
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OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7209, SUBSECTION 2.

PROJECT:  
**CHABAD OF THE HEIGHTS**  
**34 NORTH RIDGE ROAD**

SCALE:

SHEET TITLE:  
**EXISTING  
CONDITIONS**

DRAWN BY: AG/MS CHECKED BY: SS  
DATE: 5.7.26 PROJECT NO: 2414  
SHEET NUMBER:



PROJECT LOCATION

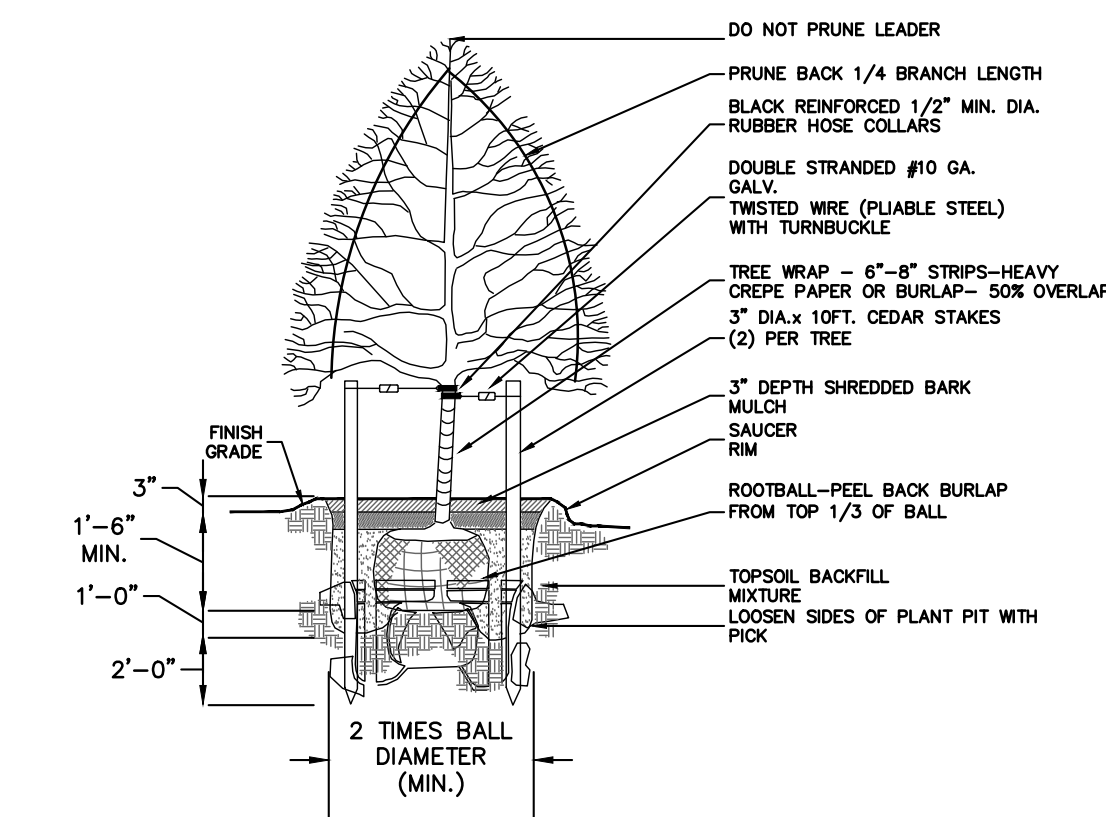
**STANDARD LANDSCAPE NOTES:**

- MULCH ALL PLANT BED AND TREES WITH 4" DEPTH OF SUGAR CANE OR LICORICE ROOT MULCH.
- STAKE ALL TREES WITH 2 CEDAR STAKES, RUBBER HOSE AROUND TREE (6"-0" ABOVE GRADE) AND TWISTED #10 GAUGE GALVANIZED WIRE.
- PLANT PIT SHALL BE 12" WIDER AND 6" DEEPER THAN THE ROOT BALL. REMOVE ALL EXISTING SOIL AND BACKFILL WITH MIXTURE OF ONE PART PEAT-HUMUS TO 4 PARTS TOPSOIL. ADD 3 YEAR "EESEY" GROW FERTILIZER PACKETS (OR EQUAL) - 1 PER INCH OF TREE CALIPER OR PER 12" HEIGHT OF SHRUB.
- GUARANTEE ALL PLANTS AND WORKMANSHIP FOR TWO PLANTING SEASONS.
- ALL PLANTING SHALL BE PLACED UNDER THE DIRECTION OF AN APPROPRIATE LICENSED DESIGN PROFESSIONAL. NOTIFY 48 HOURS PRIOR TO PLANTING.
- PROVIDE THE VILLAGE OF CHESTNUT RIDGE BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERY MEN'S STANDARDS.
- PROVIDE 4" MINIMUM TOPSOIL ON ALL DISTURBED AREAS OF SITE TO BE GRASSED OR LANDSCAPE.
- PERENNIAL PLANTING BEDS TO BE INSTALLED WITH PLANT SELECTION AT THE OWNERS DISCRETION AND MAINTAINED ANNUALLY.
- PROPOSED PERMANENT SEED SHALL BE THE FOLLOWING SEED MIX: 40% JAMESTOWN CHEWINGS FESCUE, 40% BARON KENTUCKY BLUEGRASS, AND 20% YORKTOWN PERENNIAL RYE OR APPROVED EQUIVALENT AT 5 LBS. PER 1000 SF.
- ALL DISTURBED AREAS SHALL BE SEEDED AS INDICATED IN NOTE 10 ABOVE, AND MAINTAINED AS GRASS UNLESS OTHERWISE INDICATED.

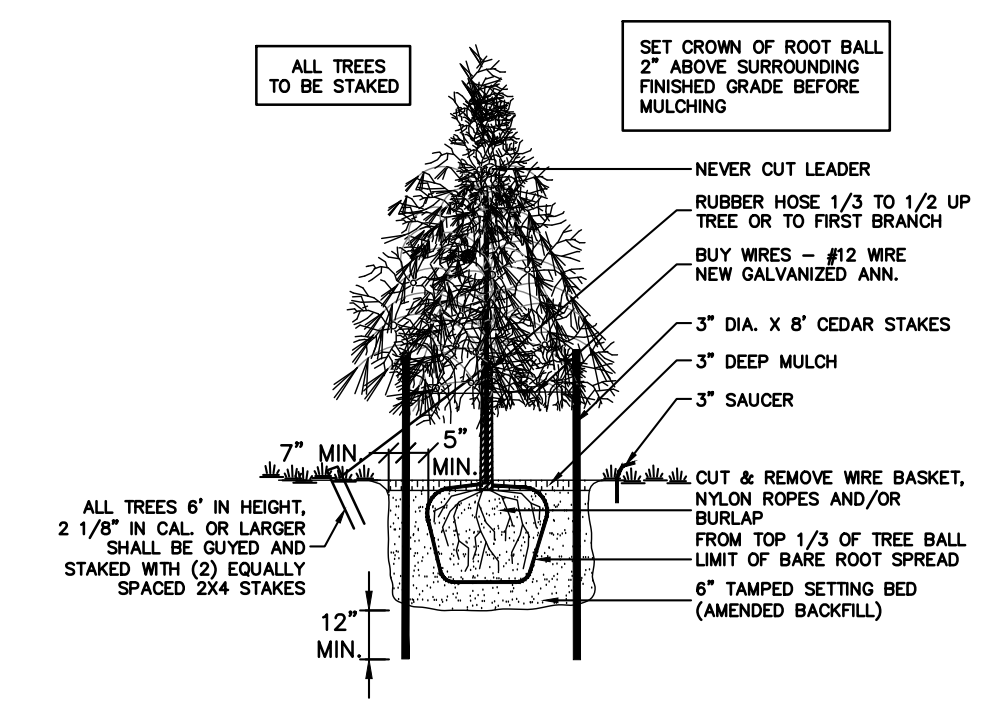
**PLANTING SCHEDULE**

SYMBOL	PLANT NAME	QUANTITY	SIZE & REMARKS
GG	THUJA STANDISHII XPLICATA "GREEN GIANT"	29	7'-8" HT; 10' O.C.
GC	ILEX CLABRA "COMPACTA" COMPACT INKBERRY	32	24"-36" HT. CONTAINER
JH	ILEX CRENATA "BEEHIVE" BEEHIVE JAPANESE HOLLY	13	15"-18" HT. B&B
WB	BUXUS MICROPHYLLA "WINTERGREEN" BOXWOOD	47	15"-18" HT. B&B
LL	TILIA CORDATA GREENSPIRE GREENSPIRE LINDEN	5	2-1/2"-3" CALIPER B&B
RC	COTONEASTER DAMMERI ROYAL BEAUTY ROYAL BEAUTY COTONEASTER	32	15"-18" SPR. B&B

NOTE:  
VILLAGE ENGINEER MAY REQUIRE ADDITIONAL LANDSCAPING AND SCREENING AT TIME OF CONSTRUCTION TO MEET INTENT OF PLANNING BOARD APPROVAL.

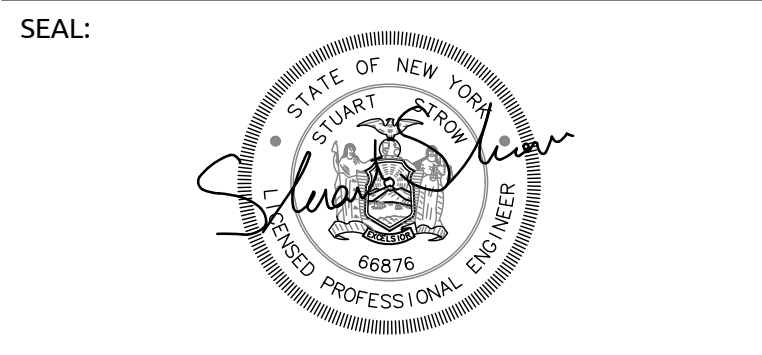


**DECIDUOUS TREE PLANTING**  
N.T.S.



**EVERGREEN TREE PLANTING**  
N.T.S.

REV	DESCRIPTION	BY	DATE
6	AS PER REVIEW COMMENTS	SM	5.28.2026
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	ORIGINAL SUBMITTAL	SS	8.14.24

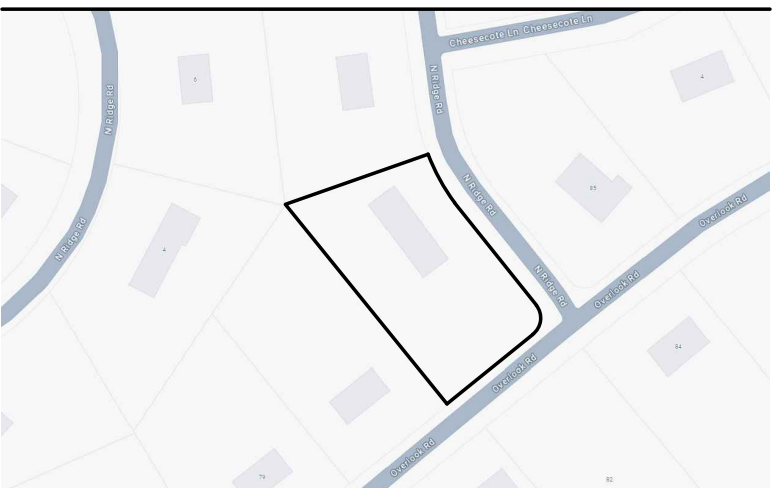


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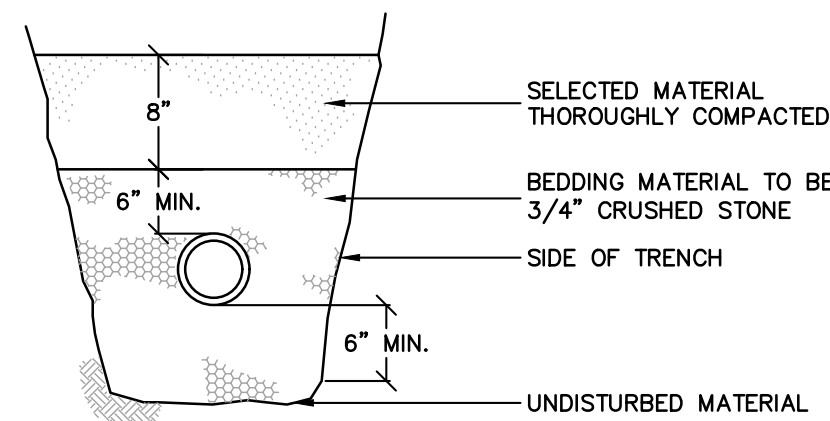
SCALE: 1"=20'

SHEET TITLE:  
**LANDSCAPING PLAN**

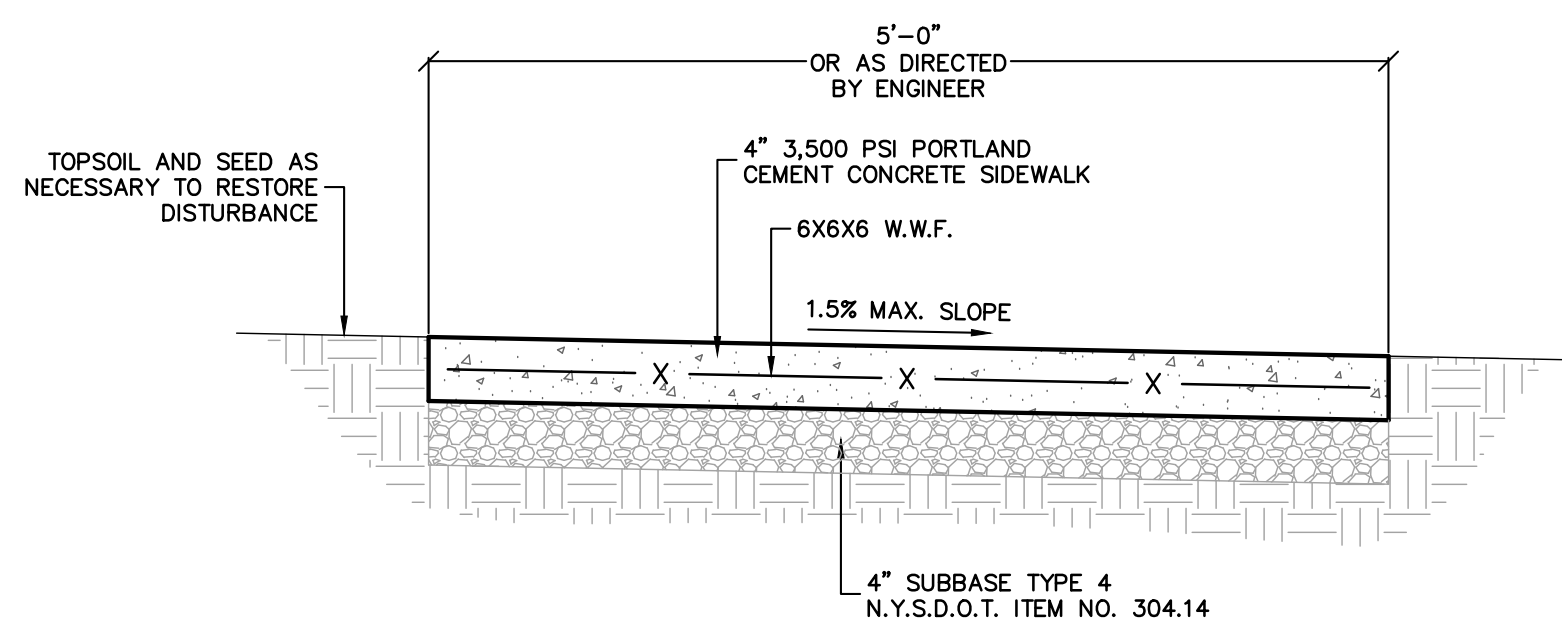
DRAWN BY: AG/MS CHECKED BY: SS  
DATE: 5.7.26 PROJECT NO: 2414  
SHEET NUMBER:



PROJECT LOCATION



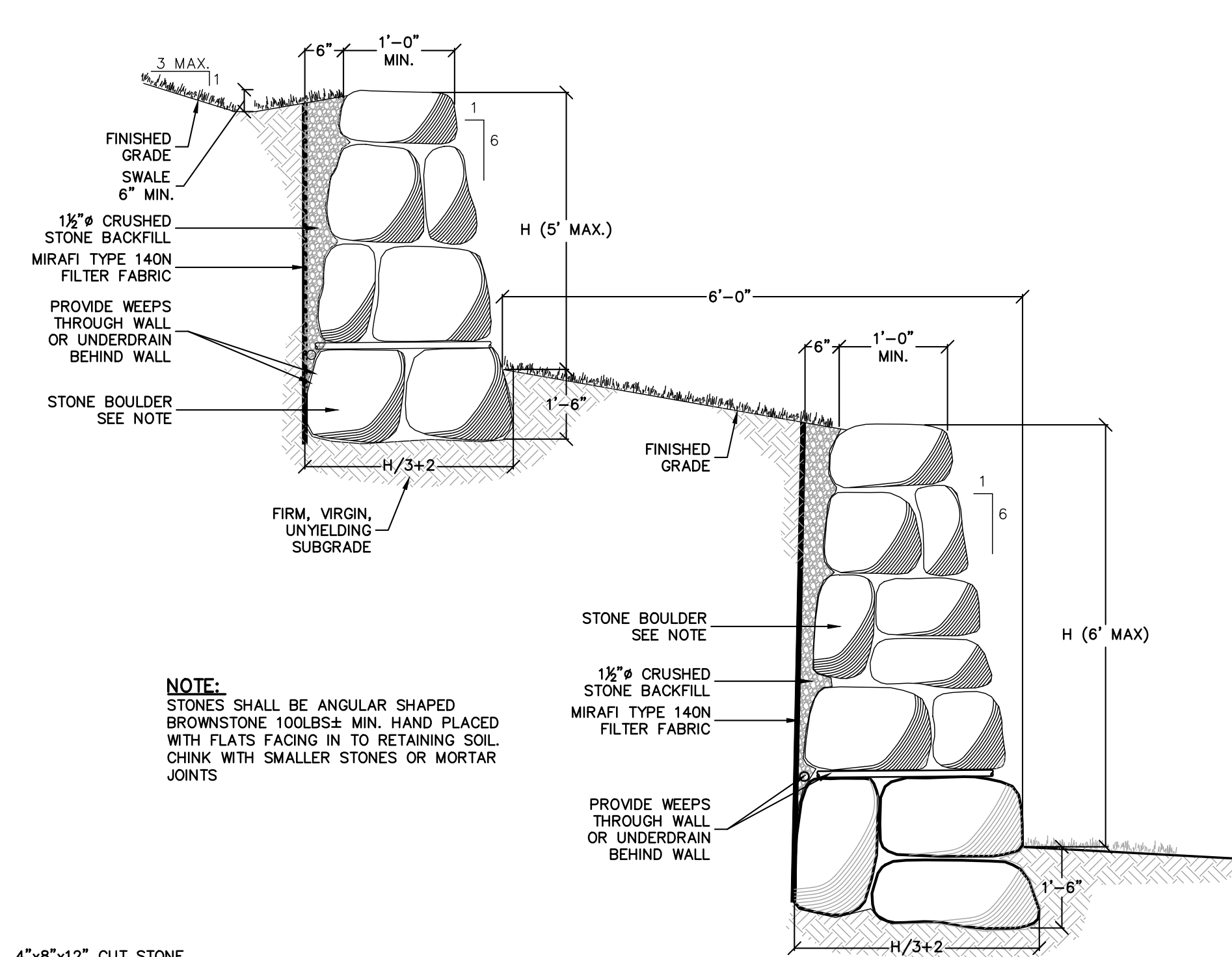
SECTION B-B



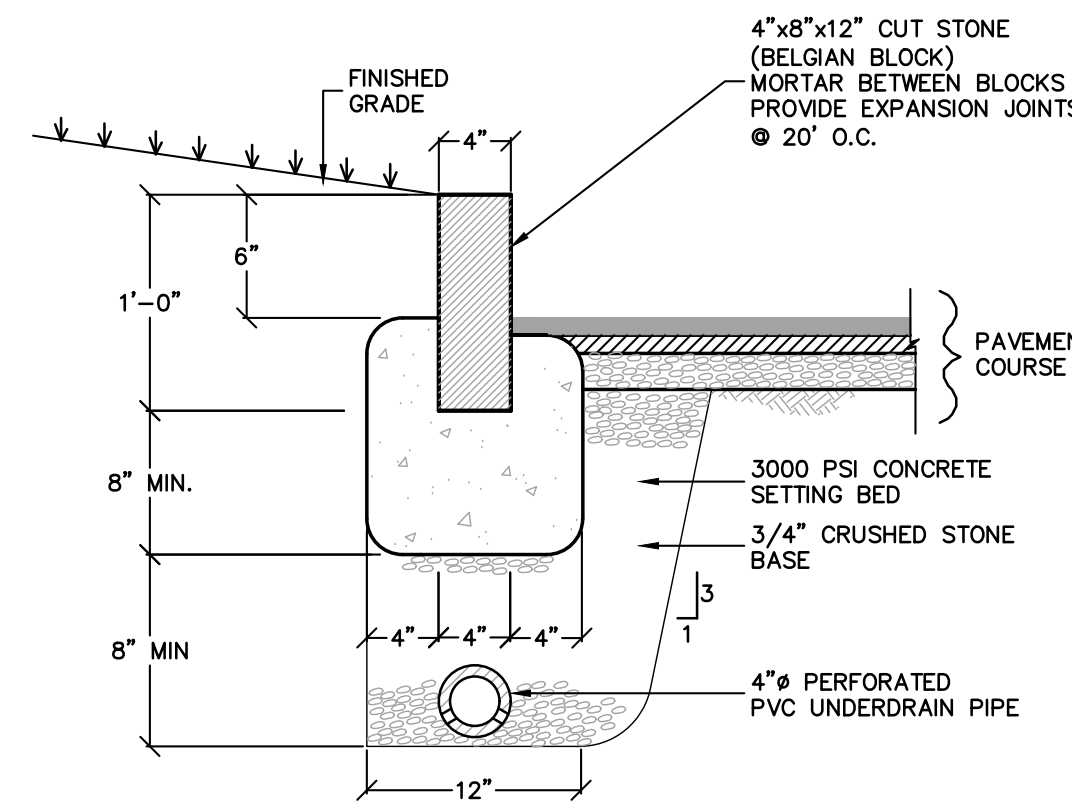
**CONCRETE SIDEWALK NOTES**

1. ALL WORK SHALL CONFORM TO NYS STANDARD SPECIFICATIONS CONSTRUCTION AND MATERIALS, AS AMENDED.
2. FULL DEPTH TRANSVERSE EXPANSION JOINTS SHALL BE PLACED EVERY 10 FEET TO FULL DEPTH OF CURB.
3. CONCRETE SURFACE SHALL BE SCORED AND TOOLED EVERY 5 FEET.
4. ALL EDGES SHALL BE FINISHED WITH AN EDGING TOOL WITH A RADIUS OF 1/4 INCH.
5. A 1/2 INCH BITUMINOUS JOINT FILLER SHALL BE PLACED AT ALL JOINTS BETWEEN SIDEWALK, CURB, PAVEMENT, BUILDING, STRUCTURES ETC.
6. THE CONCRETE SHALL BE FINISHED TO PRODUCE A SMOOTH FINISH AND THEN LIGHTLY BROOMED TO A UNIFORM TEXTURE.
7. A CLEAR MEMBRANE CURING COMPOUND OR EQUAL SHALL BE USED UPON COMPLETION OF FINISHING.
8. ALL SIDEWALKS SHALL ADHERE TO ADA GUIDELINES.
9. CONCRETE DEPTH SHALL BE 4\"/>

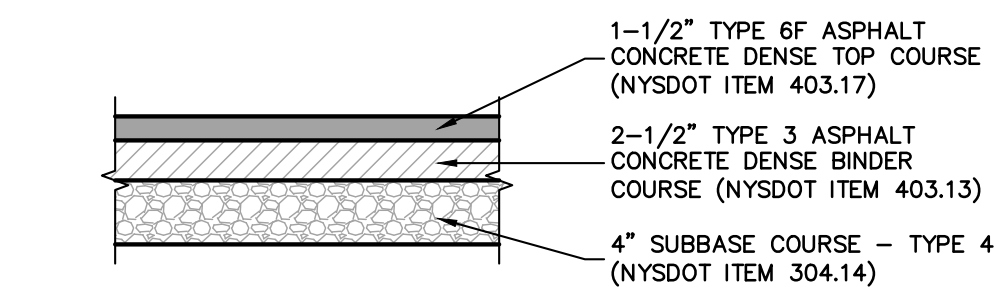
CONCRETE SIDEWALK DETAIL  
N.T.S.



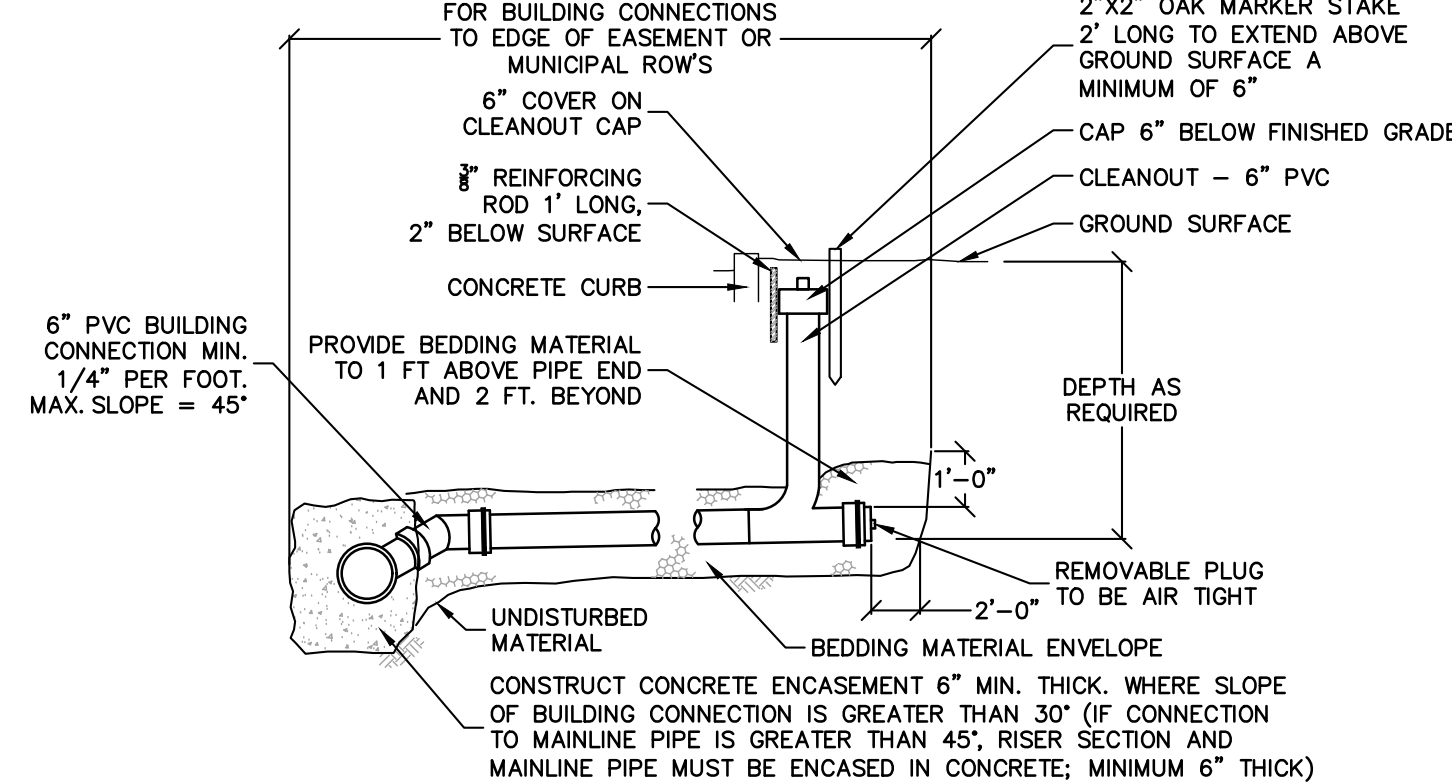
TERRACED STONE WALL CROSS SECTION  
N.T.S.



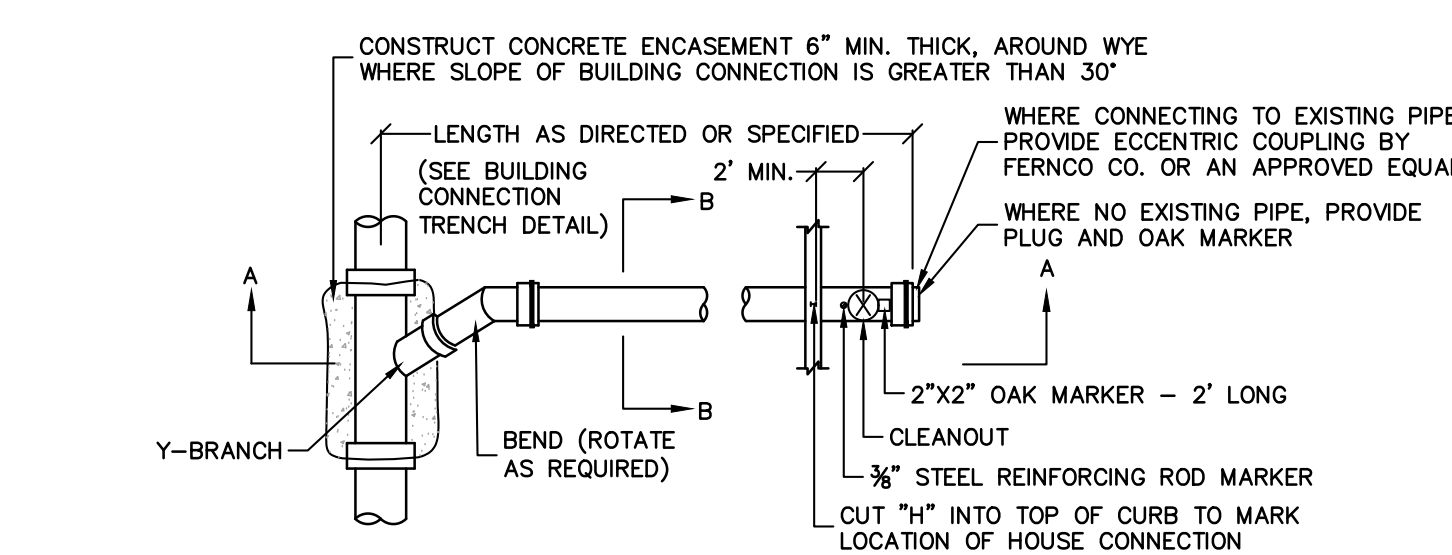
BELGIAN BLOCK CURB DETAIL  
N.T.S.



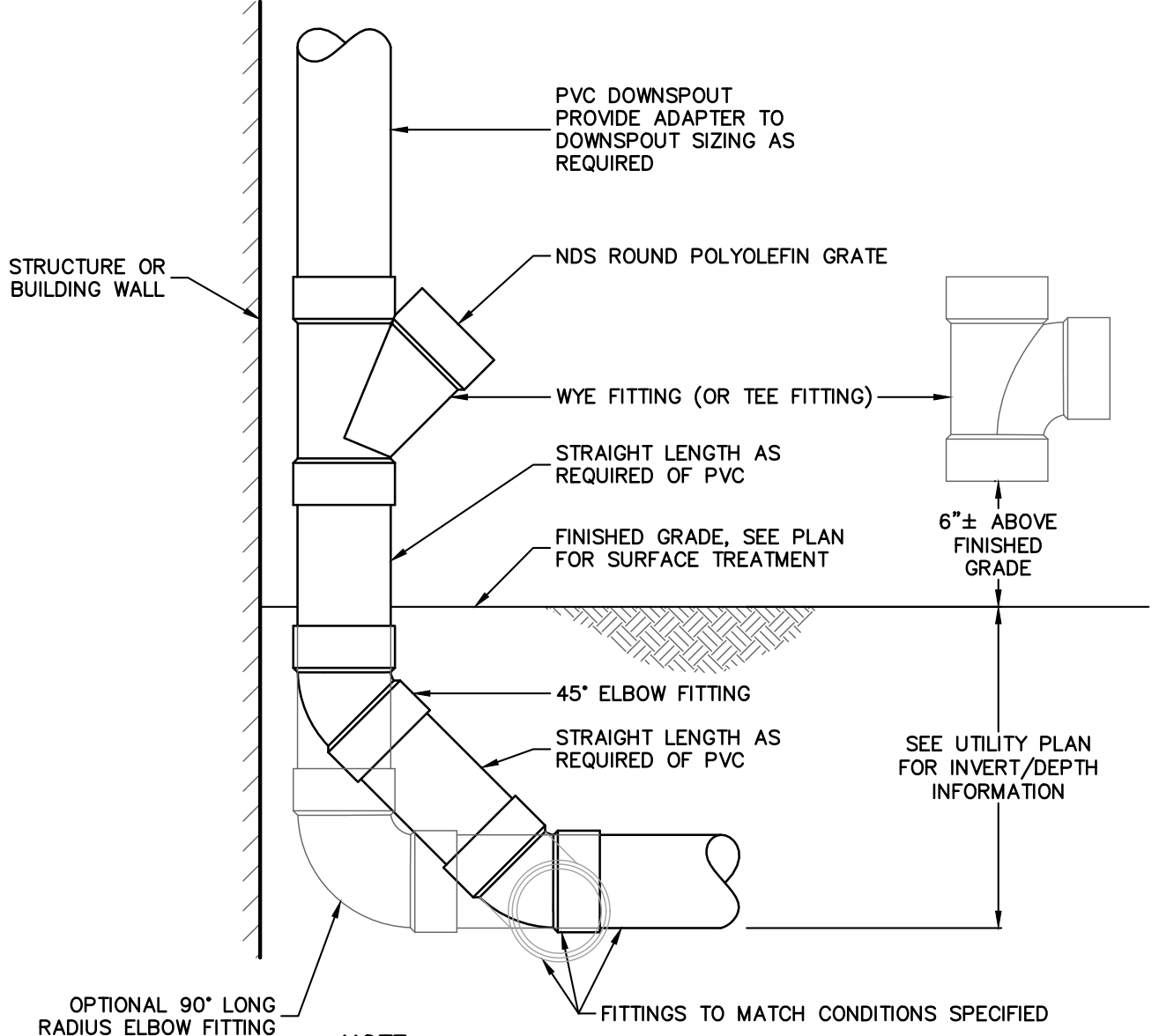
DRIVEWAY PAVEMENT SECTION  
N.T.S.



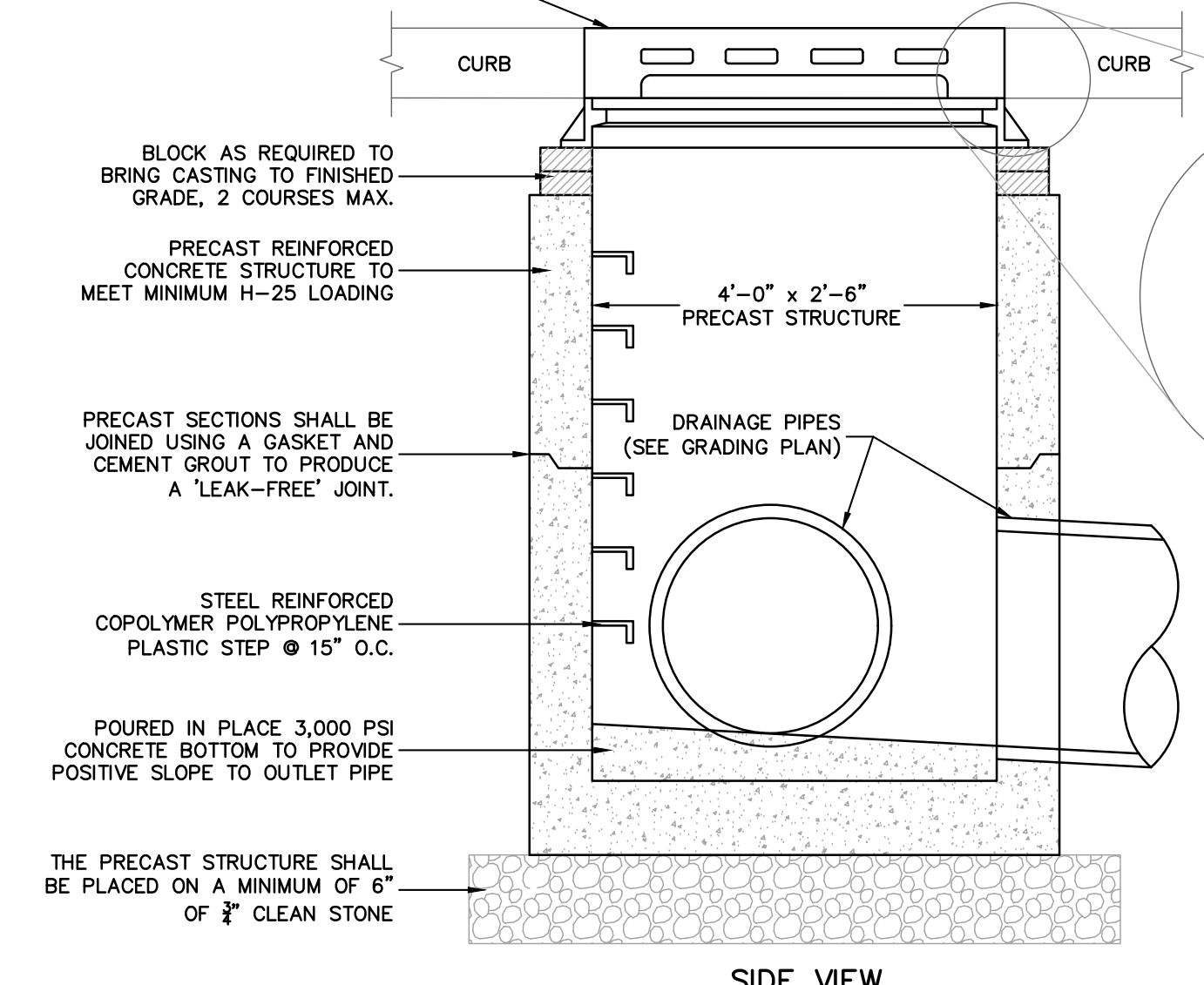
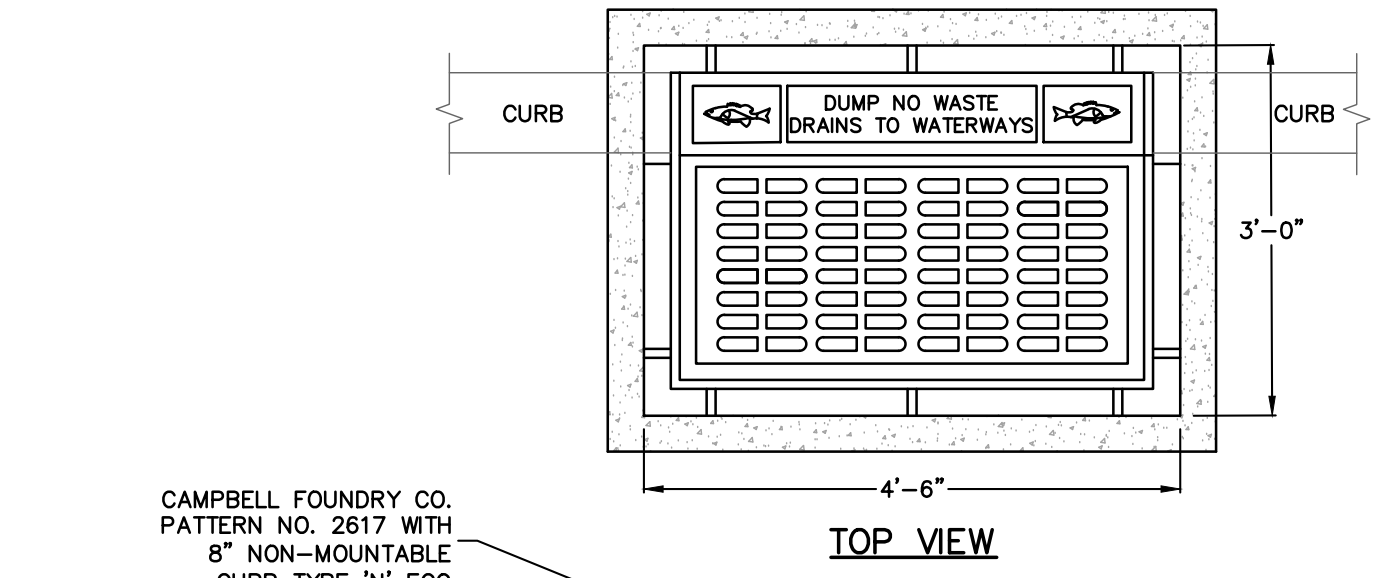
SECTION A-A



PLAN BUILDING CONNECTION DETAILS  
N.T.S.

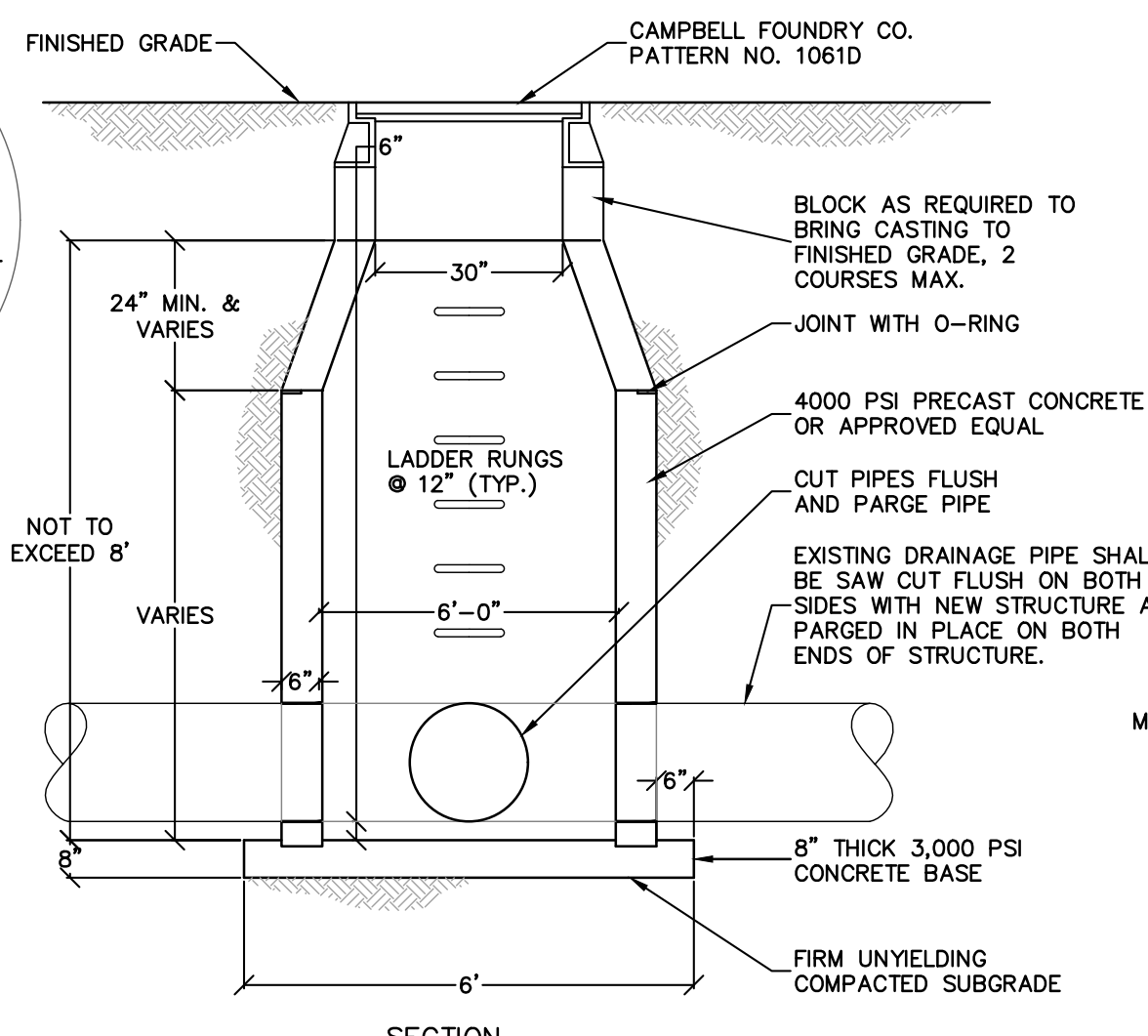


ROOF LEADER CLEANOUT DETAIL  
N.T.S.



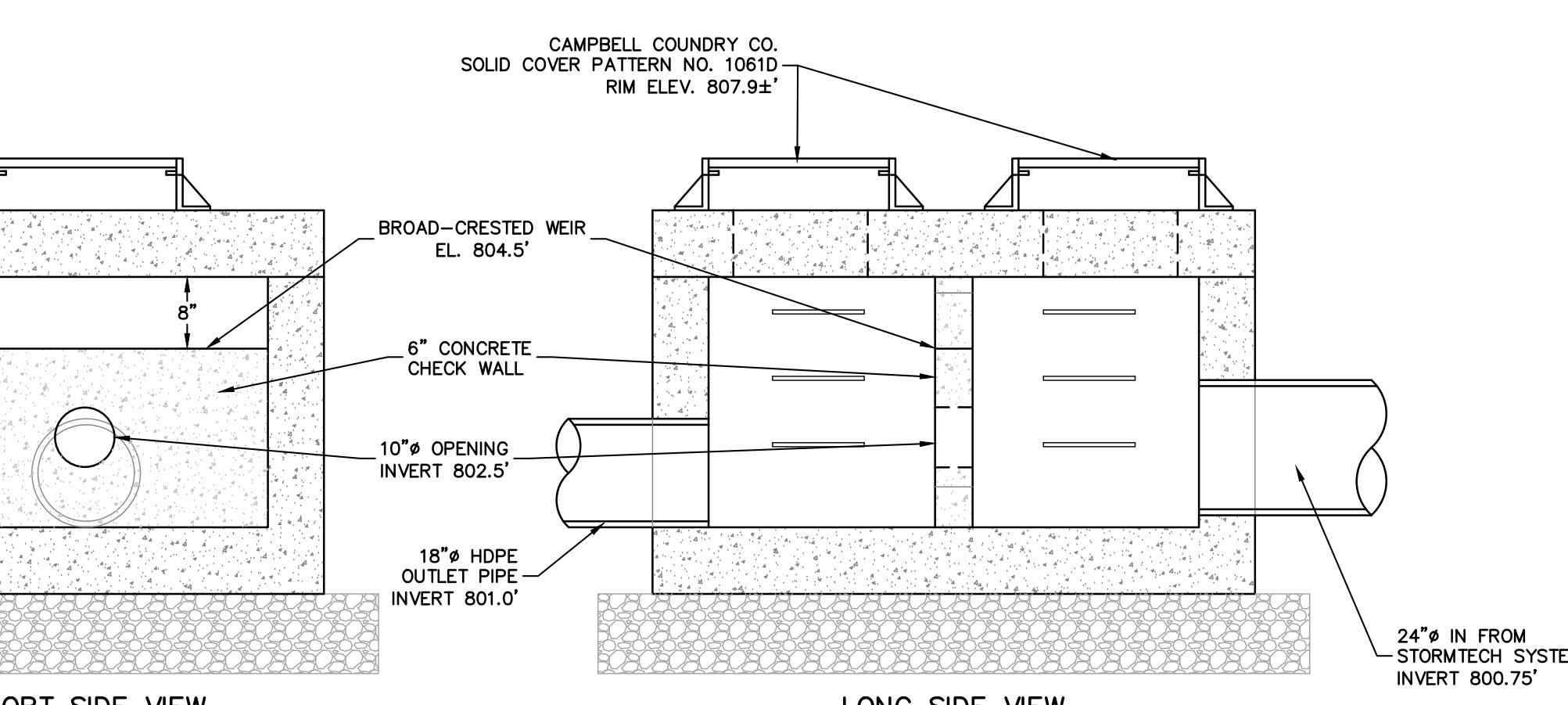
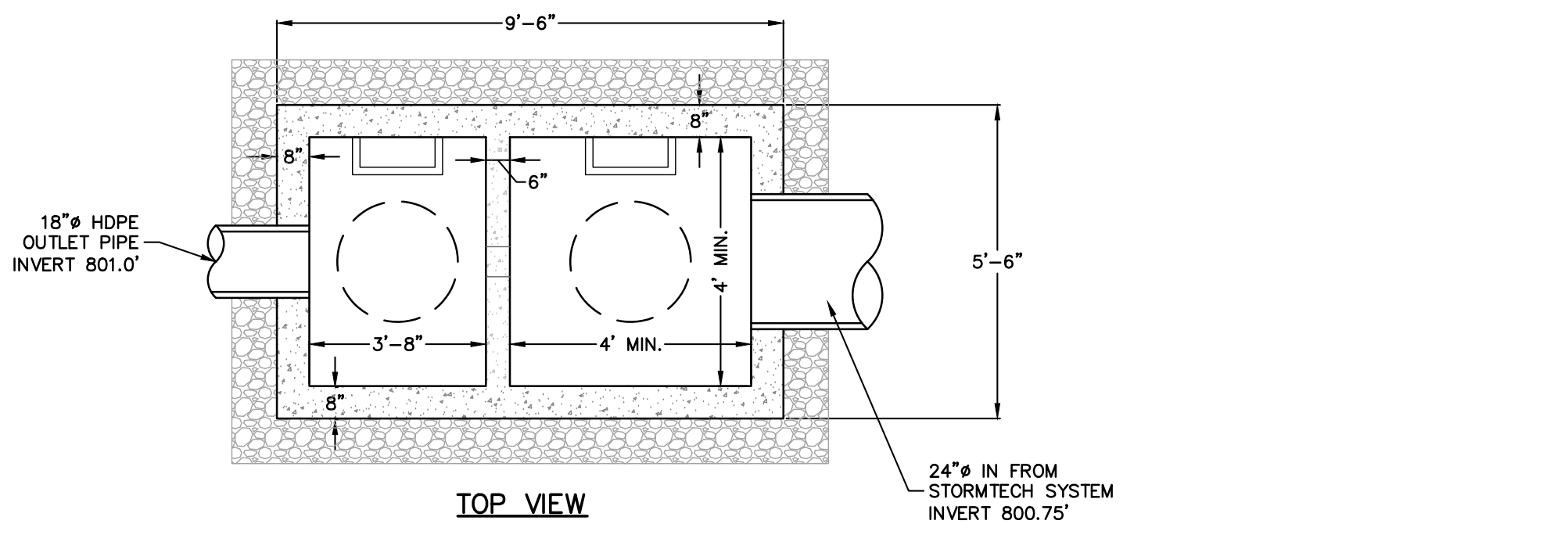
- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
  2. ALL JOINTS TO BE WATER-TIGHT.
  3. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

CATCH BASIN CURB INLET DETAIL  
N.T.S.



- NOTE:
- MANHOLE REINFORCEMENT, CONCRETE AND FRAME CASTING MUST BE CERTIFIED FOR HS20 LOADING

DOGHOUSE STORM MANHOLE DETAIL  
N.T.S.



UNDERGROUND OUTLET STRUCTURE DETAIL  
N.T.S.

REV	DESCRIPTION	BY	DATE
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3	FLOOR AREA REVISION	SS	12.30.25
2	ADDED LANDSCAPING PLAN	SS	12.01.25
1	AS PER TAC REVIEW COMMENTS	SS	10.13.25
	ORIGINAL SUBMITTAL	SS	8.14.24



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PROJECT:  
**CHABAD OF THE HEIGHTS**  
**34 NORTH RIDGE ROAD**

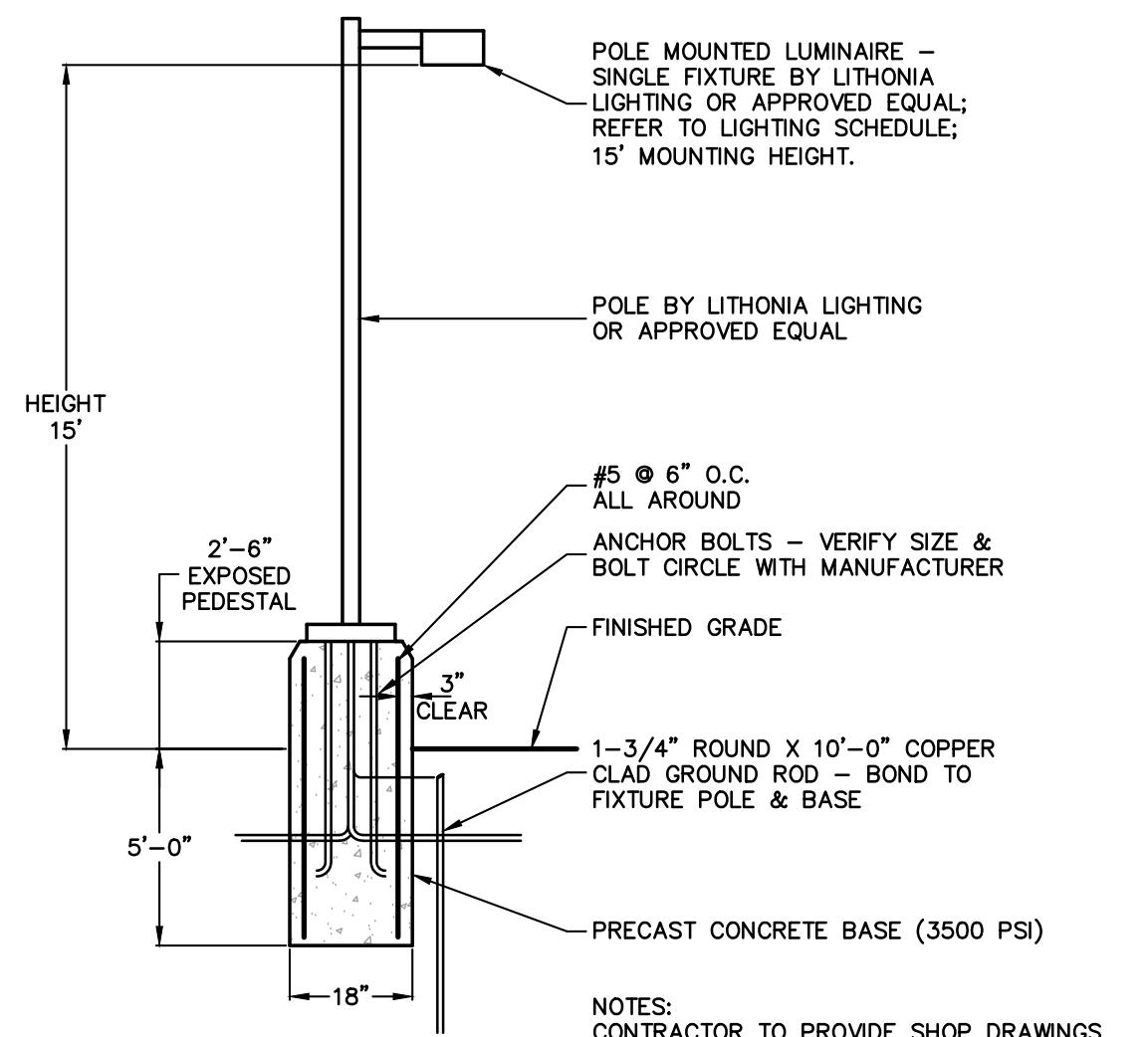
SCALE: AS SHOWN

SHEET TITLE:  
**CONSTRUCTION**  
**DETAILS**  
**(1 OF 2)**

DRAWN BY: AG/MS CHECKED BY: SS  
DATE: 5.7.26 PROJECT NO: 2414

SHEET NUMBER:

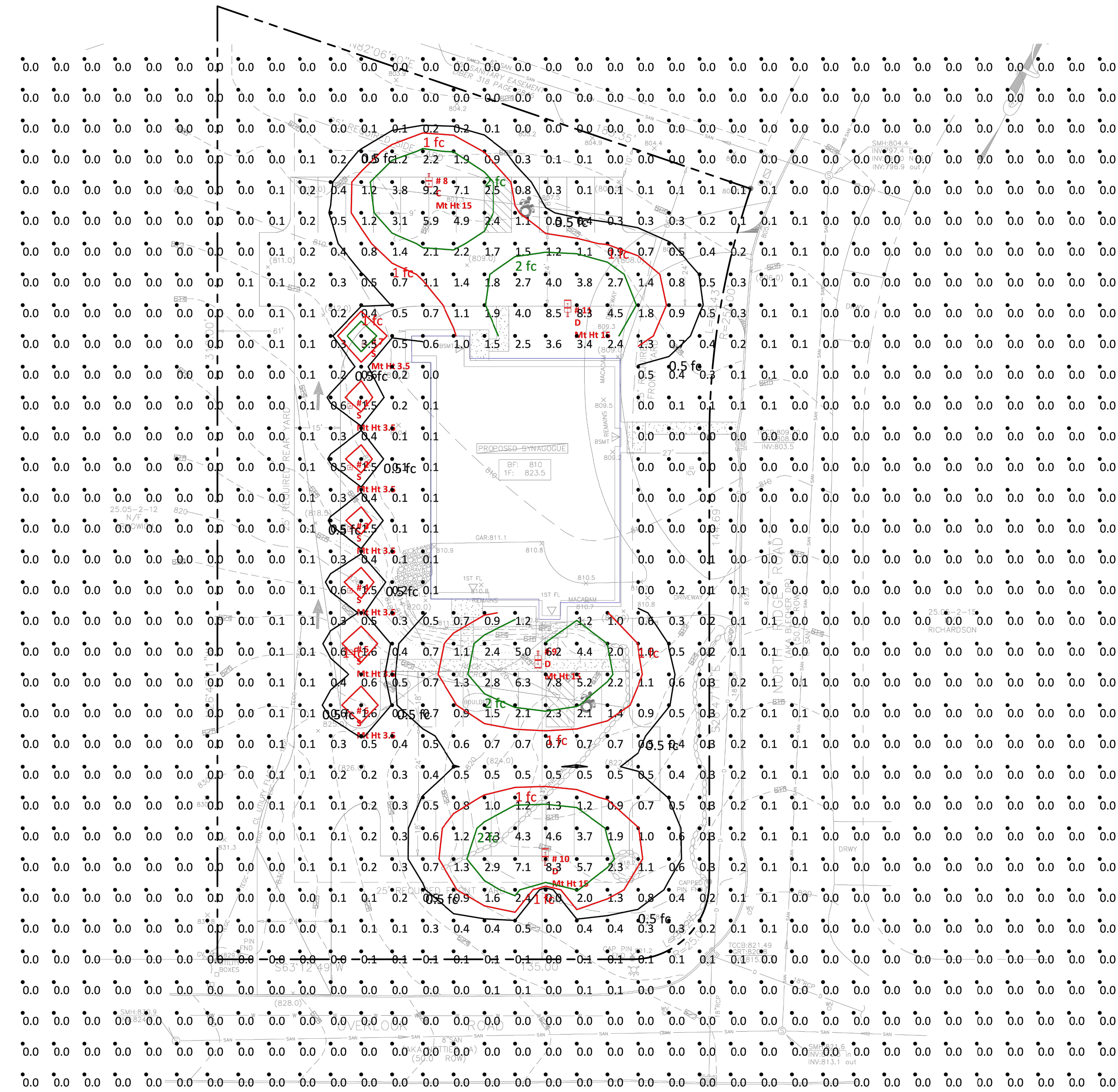




**LUMINAIRE DETAIL**  
N.T.S.

Luminaire Location Summary			
Lum No	Label	Mt Ht	Tilt
1	SA-PB	3.5	0
2	SA-PB	3.5	0
3	SA-PB	3.5	0
4	SA-PB	3.5	0
5	SA-PB	3.5	0
6	SA-PB	3.5	0
7	SA-PB	3.5	0
8	A17-4T70 @60W 3000K with shield	15	0
9	A17-3T70 at 60W 3000K	15	0
10	A17-3T70 at 60W 3000K	15	0
11	A17-3T70 at 60W 3000K	15	0

Scale: 1 inch= 20 Ft.



Luminaire Schedule						
Type	Symbol	Qty	Part #	Lum. Lumens	Lum. Watts	Total Watts
C		1	A17-4T70 @60W 3000K with shield	7021	57.5444	57.544
D		3	A17-3T70 at 60W 3000K	8913	60.6164	181.849
S		7	SA-PB	541	8.08	56.56



#	Date	Comments
2	04/24/2025	

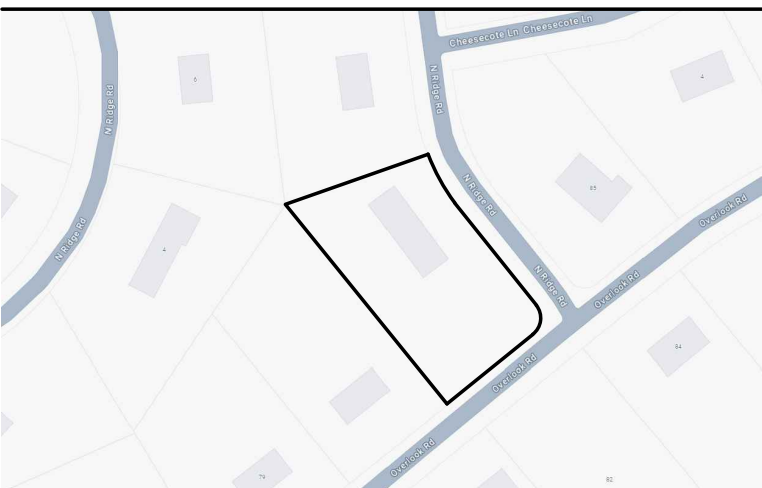
Revisions	

Drawn By: Patrick Carbone  
Checked By:  
Date: 4/24/2026  
Scale: As Noted

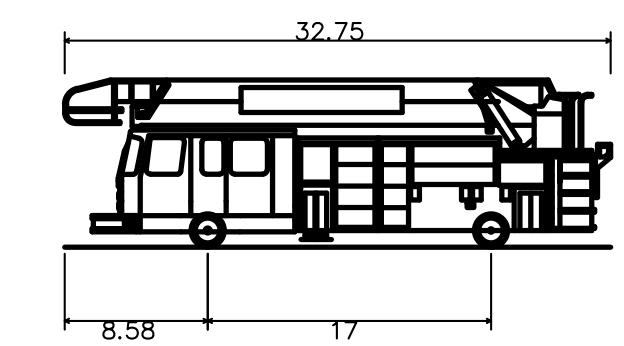
**Chabad of the Heights**  
**Pomona, NY**

8

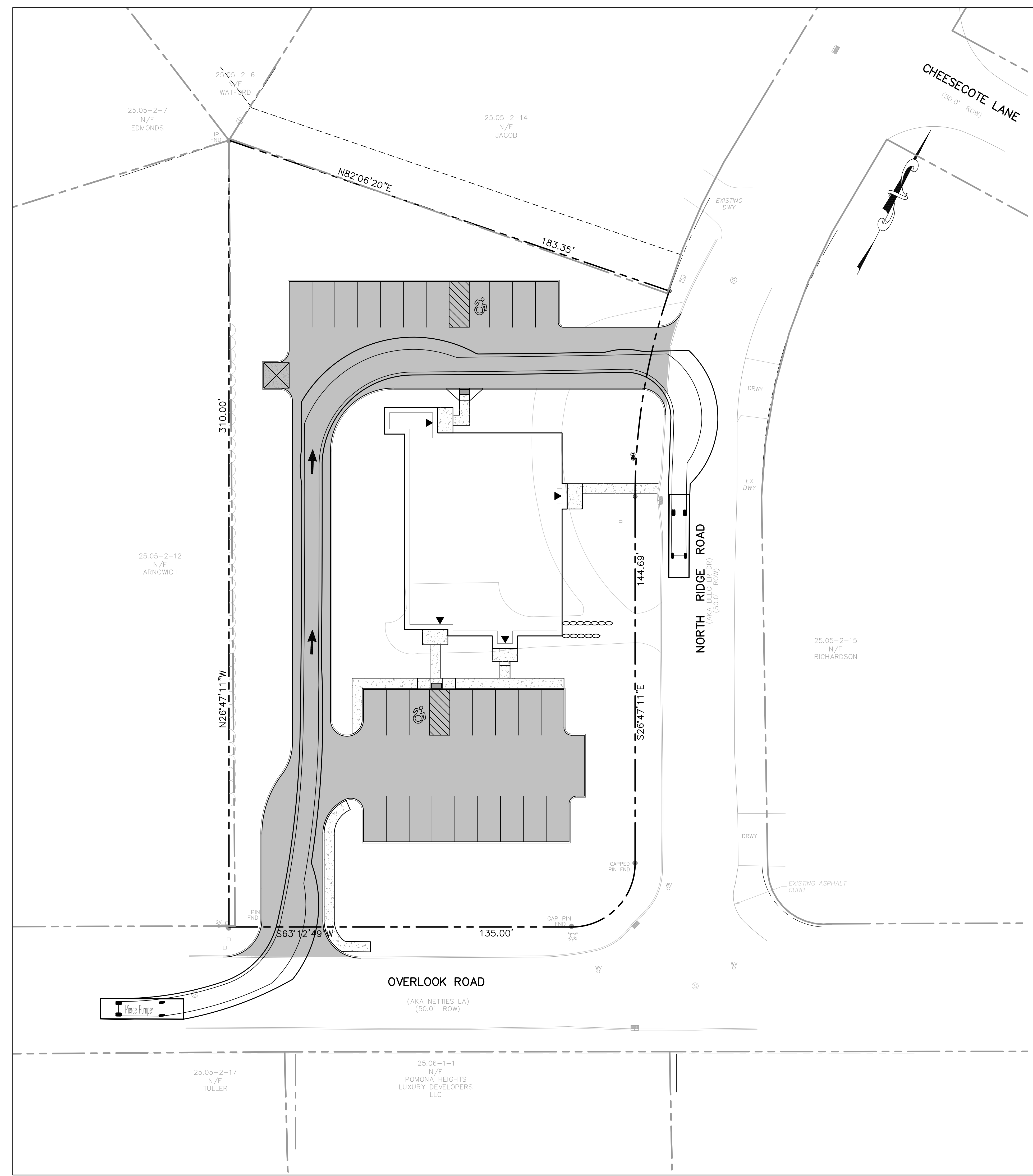
PROJECT:  
**CHABAD OF THE HEIGHTS**  
**34 NORTH RIDGE ROAD**  
VILLAGE OF POMONA  
ROCKLAND COUNTY, NEW YORK



PROJECT LOCATION



Pierce Pumper  
Overall Length 32.750ft  
Overall Width 8.000ft  
Overall Body Height 10.024ft  
Min Body Ground Clearance 0.454ft  
Track Width 5.670ft  
Lock-to-lock time 6.00s  
Curb to Curb Turning Radius 29.750ft



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SEAL:

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PROJECT:  
**CHABAD OF THE HEIGHTS**  
**34 NORTH RIDGE ROAD**

SCALE: 1"=20'

SHEET TITLE:  
**FIRE TRUCK**  
**MANEUVER PLAN**

DRAWN BY: AG/MS CHECKED BY: SS  
DATE: 5.7.26 PROJECT NO: 2414  
SHEET NUMBER:



**CIVIL DESIGN WORKS**  
LLC

Glenn McCreedy, P.E., C.M.E.  
Stuart Strow, P.E., C.F.M.

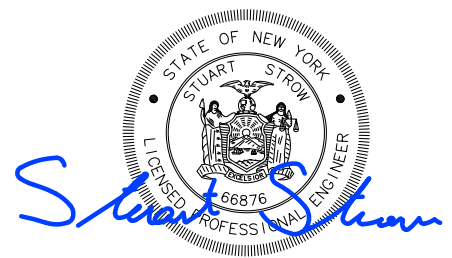
## **Drainage Analysis**

Prepared for:

### **Chabad of the Heights 34 North Ridge Road**

Village of Pomona  
Rockland County, New York

**June 1, 2026**



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**Stuart Strow, P.E.**

**N.Y. Lic. No. 66876**

## SUMMARY

This report has been prepared for the proposed construction of a new synagogue located at the corner of North Ridge Road and Overlook Road in the Village of Pomona, Rockland County, New York. The property consists of approximately 45,477 square feet (1.04 acres) and is currently occupied by the remnants of a previous synagogue that was destroyed by fire, including portions of the existing driveway and paved walkways.

Under existing conditions, the property generally drains toward North Ridge Road along the northern property boundary. Existing impervious surfaces on the site are limited to remnants of the previous single-family residence, with the balance of the property consisting of landscaped and undeveloped areas. For the purpose of this analysis, the previous development with the single-family dwelling is considered the pre-construction condition.

The proposed project includes the construction of a new synagogue building with a building footprint of approximately 5,161 square feet. Site improvements will also include associated parking facilities, sidewalks, drive aisles, and landscaping. The completed development will result in approximately 21,130 square feet of impervious surface coverage, representing approximately 46.5 percent of the total lot area.

To offset the increase in runoff associated with the proposed impervious surfaces, a subsurface stormwater management system will be constructed beneath the northern parking area of the site. The system will consist of twenty-one (21) StormTech MC-3500 chambers designed to provide the storage volume and infiltration capacity necessary to manage stormwater runoff generated by the proposed development. Runoff from the proposed roof leaders, parking areas, and other impervious surfaces will be collected and conveyed to the StormTech chamber system for storage and infiltration.

An assumed infiltration rate of 6 inches per hour was utilized in the design and sizing of the stormwater management system. The soil infiltration rate will be confirmed with field testing upon initiation of the construction.

The proposed stormwater management system has been evaluated for storm events ranging from the 2-year to 100-year frequency. The analysis demonstrates that the storage and infiltration provided by the StormTech chamber system will adequately mitigate runoff from the proposed development and prevent any increase in peak discharge rates from the site. As a result, post-development peak runoff rates will not exceed existing-condition peak runoff rates.

The attached calculations and supporting data substantiate the design and performance of the proposed stormwater management system.

**SUMMARY TABLE**  
**PEAK DISCHARGE FROM PROJECT SITE**

<b><u>PEAK DISCHARGE (CFS)</u></b>			
<b><u>FREQUENCY</u></b>	<b><u>EXISTING CONDITIONS</u></b>	<b><u>PROPOSED CONDITIONS</u></b>	<b><u>DIFFERENCE</u></b>
<b>2 YEAR</b>	<b>1.22</b>	<b>1.07</b>	<b>- 0.15</b>
<b>10 YEAR</b>	<b>3.46</b>	<b>2.40</b>	<b>- 1.06</b>
<b>100 YEAR</b>	<b>7.68</b>	<b>7.05</b>	<b>- 0.63</b>

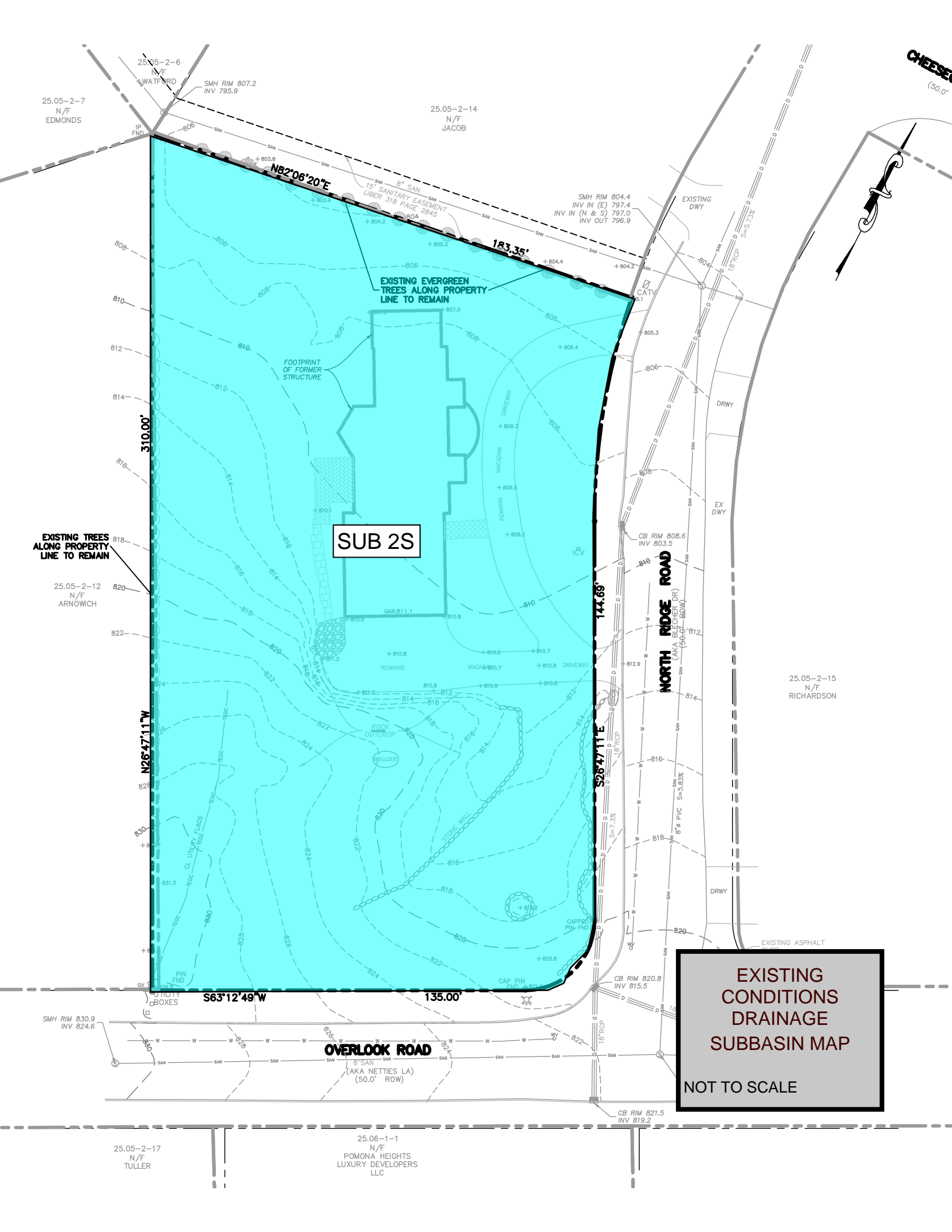
**24 Hour Rainfall**

<u>Frequency</u>	<u>Rainfall (inches)</u>
2- Year	3.67
10- Year	5.80
100- Year	9.17

**Soil Data**

According to the Natural included as an Appendix in this report.

An assumed infiltration rate of 6 inch/hour was utilized for the design of the Stormtech chamber system. The infiltration rate will be confirmed with soil tests prior to construction.



**SUB 2S**

**EXISTING  
CONDITIONS  
DRAINAGE  
SUBBASIN MAP**

**NOT TO SCALE**

**OVERLOOK ROAD**  
(AKA NETTIES LA)  
(50.0' ROW)

**NORTH RIDGE ROAD**  
(AKA BLECHER DR)  
(60.0' ROW)

**EXISTING TREES  
ALONG PROPERTY  
LINE TO REMAIN**

**EXISTING EVERGREEN  
TREES ALONG PROPERTY  
LINE TO REMAIN**

FOOTPRINT  
OF FORMER  
STRUCTURE

EXISTING ASPHALT

25.05-2-6  
N/F  
WATERD  
SMH RIM 807.2  
INV 795.9

25.05-2-14  
N/F  
JACOB

SMH RIM 804.4  
INV IN (E) 797.4  
INV IN (N & S) 797.0  
INV OUT 796.9

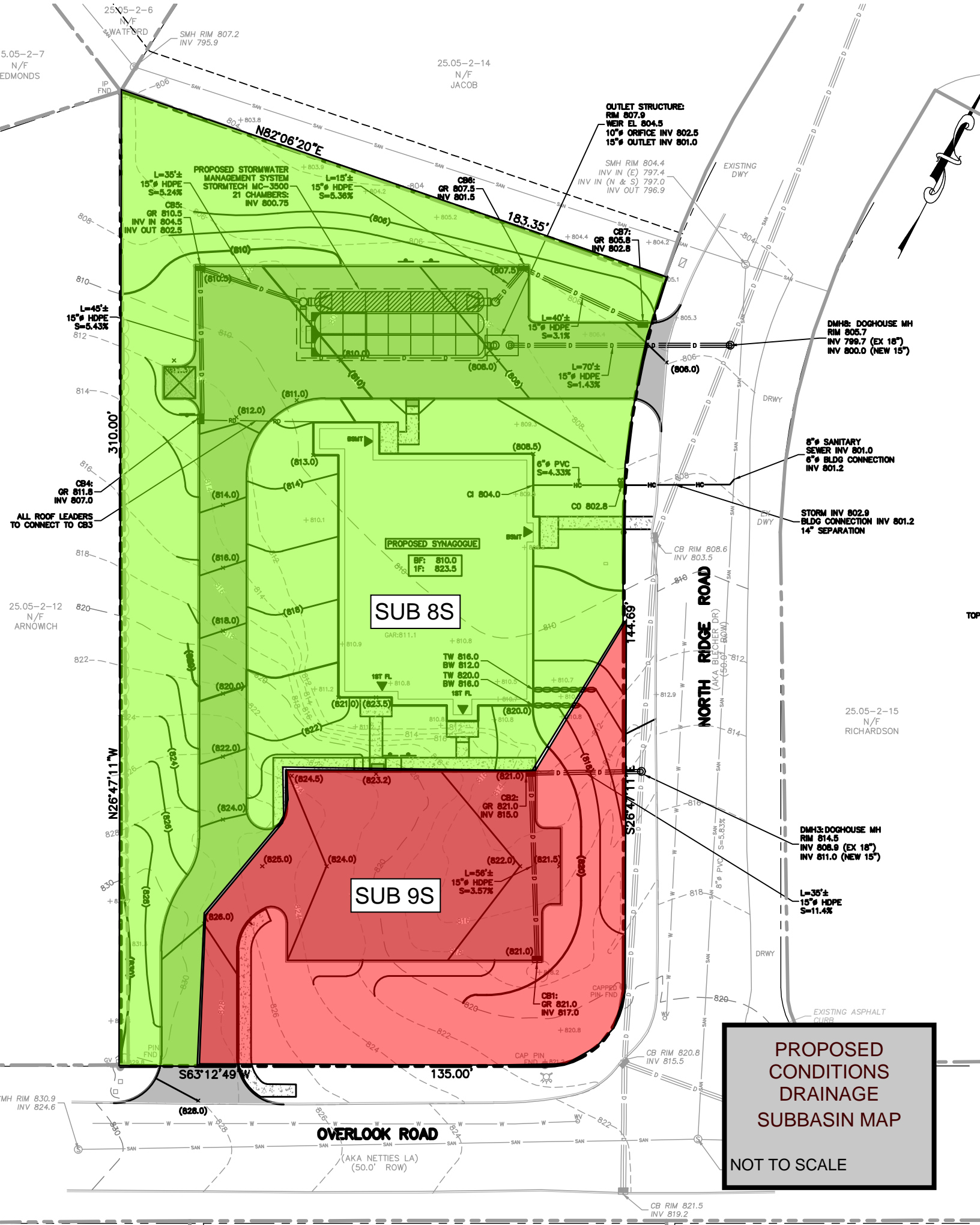
25.05-2-15  
N/F  
RICHARDSON

25.05-2-17  
N/F  
TULLER

25.06-1-1  
N/F  
POMONA HEIGHTS  
LUXURY DEVELOPERS  
LLC

CB RIM 821.5  
INV 819.2

CHEESE  
(30.0')



**PROPOSED  
CONDITIONS  
DRAINAGE  
SUBBASIN MAP**

NOT TO SCALE

**SUB 8S**

**SUB 9S**

**OVERLOOK ROAD**  
(AKA NETTIES LA)  
(50.0' ROW)

**NORTH RIDGE ROAD**  
(AKA BLECHER DR)  
(56.0' B.O.W.)

L=35'±  
15" HDPE  
S=5.24%

GR 807.5  
INV 801.5

CB8:  
GR 811.8  
INV 807.0

ALL ROOF LEADERS  
TO CONNECT TO CB3

L=45'±  
15" HDPE  
S=5.43%

L=70'±  
15" HDPE  
S=1.43%

L=56'±  
15" HDPE  
S=3.57%

L=35'±  
15" HDPE  
S=11.4%

**OUTLET STRUCTURE:**  
RM 807.6  
WEIR EL 804.5  
10" ORIFICE INV 802.5  
15" OUTLET INV 801.0

SMH RIM 804.4  
INV IN (E) 797.4  
INV IN (N & S) 797.0  
INV OUT 796.9

DMH8: DOGHOUSE MH  
RIM 805.7  
INV 799.7 (EX 18")  
INV 800.0 (NEW 15")

6" SANITARY  
SEWER INV 801.0  
6" BLDG CONNECTION  
INV 801.2

STORM INV 802.9  
BLDG CONNECTION INV 801.2  
14" SEPARATION

DMH3: DOGHOUSE MH  
RIM 814.5  
INV 808.9 (EX 18")  
INV 811.0 (NEW 15")

25.05-2-6  
N/F  
WATFORD

25.05-2-14  
N/F  
JACOB

25.05-2-12  
N/F  
ARNOWICH

25.05-2-15  
N/F  
RICHARDSON

MH RIM 830.9  
INV 824.6

CB RIM 821.5  
INV 819.2

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# **Appendix A**

## **NRSC Soil Map and Report**



United States  
Department of  
Agriculture

**NRCS**

Natural  
Resources  
Conservation  
Service

A product of the National  
Cooperative Soil Survey,  
a joint effort of the United  
States Department of  
Agriculture and other  
Federal agencies, State  
agencies including the  
Agricultural Experiment  
Stations, and local  
participants

# Custom Soil Resource Report for **Rockland County, New York**



# Preface

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Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist ([http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2\\_053951](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951)).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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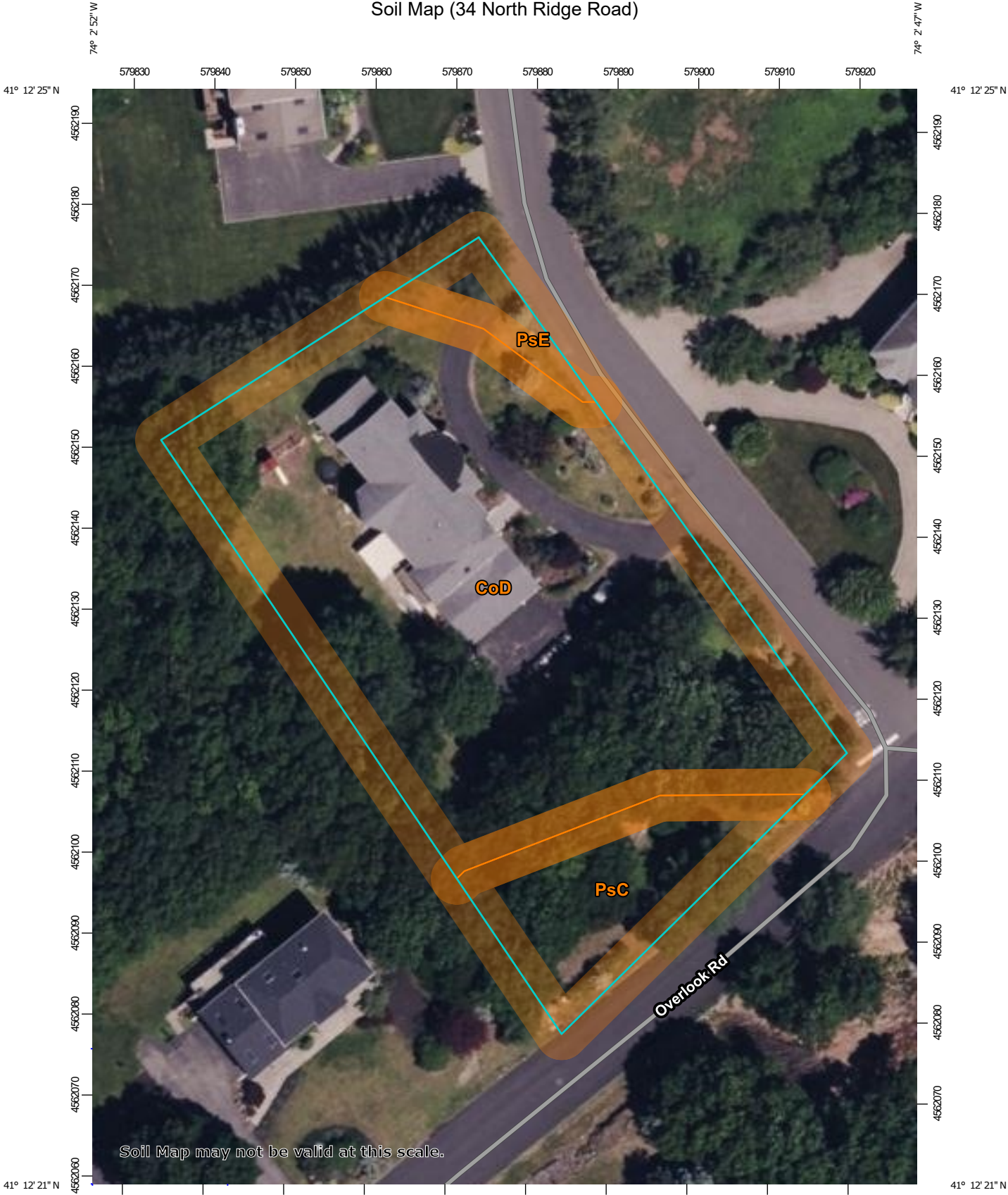
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# Soil Map

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The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

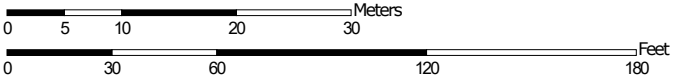
Custom Soil Resource Report  
Soil Map (34 North Ridge Road)



Soil Map may not be valid at this scale.

































Map Scale: 1:659 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

## MAP LEGEND

- Area of Interest (AOI)**
  -  Area of Interest (AOI)
- Soils**
  -  Soil Map Unit Polygons
  -  Soil Map Unit Lines
  -  Soil Map Unit Points
- Special Point Features**
  -  Blowout
  -  Borrow Pit
  -  Clay Spot
  -  Closed Depression
  -  Gravel Pit
  -  Gravelly Spot
  -  Landfill
  -  Lava Flow
  -  Marsh or swamp
  -  Mine or Quarry
  -  Miscellaneous Water
  -  Perennial Water
  -  Rock Outcrop
  -  Saline Spot
  -  Sandy Spot
  -  Severely Eroded Spot
  -  Sinkhole
  -  Slide or Slip
  -  Sodic Spot
- Water Features**
  -  Streams and Canals
- Transportation**
  -  Rails
  -  Interstate Highways
  -  US Routes
  -  Major Roads
  -  Local Roads
- Background**
  -  Aerial Photography
- Other Features**
  -  Spoil Area
  -  Stony Spot
  -  Very Stony Spot
  -  Wet Spot
  -  Other
  -  Special Line Features

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Rockland County, New York  
 Survey Area Data: Version 22, Aug 25, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 31, 2022—Oct 27, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend (34 North Ridge Road)

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CoD	Chatfield-Rock outcrop complex, hilly	0.8	81.7%
PsC	Paxton fine sandy loam, 3 to 15 percent slopes, very stony	0.1	14.5%
PsE	Paxton fine sandy loam, 15 to 35 percent slopes, very stony	0.0	3.8%
<b>Totals for Area of Interest</b>		<b>1.0</b>	<b>100.0%</b>

## Map Unit Descriptions (34 North Ridge Road)

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate

## Custom Soil Resource Report

pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

## Rockland County, New York

### CoD—Chatfield-Rock outcrop complex, hilly

#### Map Unit Setting

*National map unit symbol:* 9v45  
*Elevation:* 100 to 1,000 feet  
*Mean annual precipitation:* 47 to 50 inches  
*Mean annual air temperature:* 48 to 52 degrees F  
*Frost-free period:* 135 to 215 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Chatfield and similar soils:* 50 percent  
*Rock outcrop:* 25 percent  
*Minor components:* 25 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Chatfield

##### Setting

*Landform:* Hills, ridges  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex  
*Parent material:* Loamy till derived mainly from granite, gneiss, or schist

##### Typical profile

*H1 - 0 to 9 inches:* gravelly sandy loam  
*H2 - 9 to 25 inches:* gravelly sandy loam  
*H3 - 25 to 35 inches:* unweathered bedrock

##### Properties and qualities

*Slope:* 10 to 30 percent  
*Depth to restrictive feature:* 20 to 40 inches to lithic bedrock  
*Drainage class:* Well drained  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low to moderately high (0.00 to 0.20 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water supply, 0 to 60 inches:* Low (about 3.1 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 7s  
*Hydrologic Soil Group:* B  
*Ecological site:* F144AY034CT - Well Drained Till Uplands  
*Hydric soil rating:* No

#### Description of Rock Outcrop

##### Typical profile

*H1 - 0 to 60 inches:* unweathered bedrock

## Custom Soil Resource Report

### Properties and qualities

*Slope:* 10 to 30 percent

*Depth to restrictive feature:* 0 inches to lithic bedrock

*Capacity of the most limiting layer to transmit water (Ksat):* Very low to moderately high (0.00 to 0.20 in/hr)

### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 7s

*Hydric soil rating:* Unranked

### Minor Components

#### Charlton

*Percent of map unit:* 10 percent

*Hydric soil rating:* No

#### Hollis

*Percent of map unit:* 10 percent

*Hydric soil rating:* No

#### Watchaug

*Percent of map unit:* 5 percent

*Hydric soil rating:* No

## PsC—Paxton fine sandy loam, 3 to 15 percent slopes, very stony

### Map Unit Setting

*National map unit symbol:* 2w67x

*Elevation:* 290 to 1,200 feet

*Mean annual precipitation:* 36 to 71 inches

*Mean annual air temperature:* 39 to 55 degrees F

*Frost-free period:* 145 to 240 days

*Farmland classification:* Not prime farmland

### Map Unit Composition

*Paxton, very stony, and similar soils:* 90 percent

*Minor components:* 10 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### Description of Paxton, Very Stony

#### Setting

*Landform:* Drumlins, hills, ground moraines

*Landform position (two-dimensional):* Summit, shoulder, backslope

*Landform position (three-dimensional):* Side slope, crest

*Down-slope shape:* Convex, linear

*Across-slope shape:* Linear, convex

*Parent material:* Coarse-loamy lodgment till derived from gneiss, granite, and/or schist

## Custom Soil Resource Report

### Typical profile

*Oe - 0 to 2 inches:* moderately decomposed plant material  
*A - 2 to 10 inches:* fine sandy loam  
*Bw1 - 10 to 17 inches:* fine sandy loam  
*Bw2 - 17 to 28 inches:* fine sandy loam  
*Cd - 28 to 67 inches:* gravelly fine sandy loam

### Properties and qualities

*Slope:* 3 to 15 percent  
*Surface area covered with cobbles, stones or boulders:* 1.6 percent  
*Depth to restrictive feature:* 20 to 43 inches to densic material  
*Drainage class:* Well drained  
*Runoff class:* Medium  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low to moderately low (0.00 to 0.14 in/hr)  
*Depth to water table:* About 18 to 37 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Maximum salinity:* Nonsaline (0.0 to 1.9 mmhos/cm)  
*Available water supply, 0 to 60 inches:* Low (about 4.7 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 6s  
*Hydrologic Soil Group:* C  
*Ecological site:* F144AY007CT - Well Drained Dense Till Uplands  
*Hydric soil rating:* No

### Minor Components

#### Chatfield, very stony

*Percent of map unit:* 5 percent  
*Landform:* Hills, ridges  
*Landform position (two-dimensional):* Summit, shoulder, backslope  
*Landform position (three-dimensional):* Side slope, crest  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex  
*Hydric soil rating:* No

#### Charlton, very stony

*Percent of map unit:* 5 percent  
*Landform:* Hills  
*Landform position (two-dimensional):* Summit, shoulder, backslope  
*Landform position (three-dimensional):* Side slope, crest  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex  
*Hydric soil rating:* No

## **PsE—Paxton fine sandy loam, 15 to 35 percent slopes, very stony**

### **Map Unit Setting**

*National map unit symbol:* 2w678  
*Elevation:* 0 to 1,370 feet  
*Mean annual precipitation:* 36 to 71 inches  
*Mean annual air temperature:* 39 to 55 degrees F  
*Frost-free period:* 140 to 240 days  
*Farmland classification:* Not prime farmland

### **Map Unit Composition**

*Paxton, very stony, and similar soils:* 90 percent  
*Minor components:* 10 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

### **Description of Paxton, Very Stony**

#### **Setting**

*Landform:* Drumlins, hills, ground moraines  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Convex, linear  
*Across-slope shape:* Linear, convex  
*Parent material:* Coarse-loamy lodgment till derived from gneiss, granite, and/or schist

#### **Typical profile**

*Oe - 0 to 2 inches:* moderately decomposed plant material  
*A - 2 to 10 inches:* fine sandy loam  
*Bw1 - 10 to 17 inches:* fine sandy loam  
*Bw2 - 17 to 28 inches:* fine sandy loam  
*Cd - 28 to 67 inches:* gravelly fine sandy loam

#### **Properties and qualities**

*Slope:* 15 to 35 percent  
*Surface area covered with cobbles, stones or boulders:* 1.6 percent  
*Depth to restrictive feature:* 20 to 43 inches to densic material  
*Drainage class:* Well drained  
*Runoff class:* High  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low to moderately low (0.00 to 0.14 in/hr)  
*Depth to water table:* About 18 to 37 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Maximum salinity:* Nonsaline (0.0 to 1.9 mmhos/cm)  
*Available water supply, 0 to 60 inches:* Low (about 4.7 inches)

#### **Interpretive groups**

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 7s

Custom Soil Resource Report

*Hydrologic Soil Group:* C  
*Ecological site:* F144AY007CT - Well Drained Dense Till Uplands  
*Hydric soil rating:* No

**Minor Components**

**Charlton, very stony**

*Percent of map unit:* 8 percent  
*Landform:* Hills  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex  
*Hydric soil rating:* No

**Chatfield, very stony**

*Percent of map unit:* 1 percent  
*Landform:* Hills, ridges  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex  
*Hydric soil rating:* No

**Woodbridge, very stony**

*Percent of map unit:* 1 percent  
*Landform:* Ground moraines, drumlins, hills  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

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## Custom Soil Resource Report

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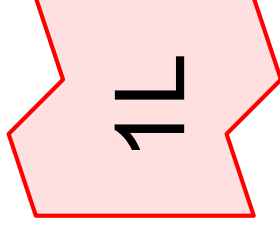
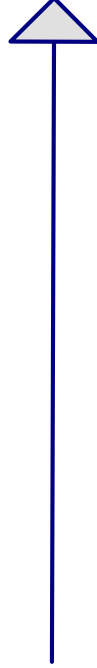
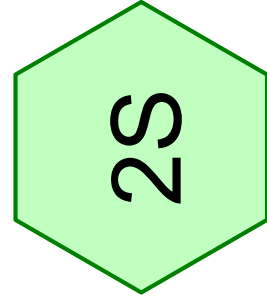
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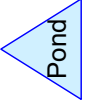
# **Appendix B**

**Existing Conditions  
HydroCAD – Detailed Summary Report**



Existing Site Area

Existing



**2026-06-01 North Ridge Road Existing**

Prepared by Civil Design Works, LLC  
HydroCAD® 10.20-9a s/n 10277 © 2026 HydroCAD Software Solutions LLC

**Rainfall Events Listing**

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	2 year	Type II 24-hr		Default	24.00	1	3.67	2
2	10 year	Type II 24-hr		Default	24.00	1	5.80	2
3	100 year	Type II 24-hr		Default	24.00	1	9.17	2

**2026-06-01 North Ridge Road Existing**

Prepared by Civil Design Works, LLC

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Page 3

**Area Listing (all nodes)**

Area (acres)	CN	Description (subcatchment-numbers)
0.627	61	>75% Grass cover, Good, HSG B (2S)
0.097	98	Paved parking, HSG B (2S)
0.090	98	Unconnected roofs, HSG B (2S)
0.230	58	Woods/grass comb., Good, HSG B (2S)
<b>1.044</b>	<b>67</b>	<b>TOTAL AREA</b>

**2026-06-01 North Ridge Road Existing**

Prepared by Civil Design Works, LLC  
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**Ground Covers (all nodes)**

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.627	0.000	0.000	0.000	0.627	>75% Grass cover, Good	2S
0.000	0.097	0.000	0.000	0.000	0.097	Paved parking	2S
0.000	0.090	0.000	0.000	0.000	0.090	Unconnected roofs	2S
0.000	0.230	0.000	0.000	0.000	0.230	Woods/grass comb., Good	2S
<b>0.000</b>	<b>1.044</b>	<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>1.044</b>	<b>TOTAL AREA</b>	

**2026-06-01 North Ridge Road Existing**

Prepared by Civil Design Works, LLC  
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**Summary for Subcatchment 2S: Existing Site Area**

Runoff = 1.22 cfs @ 12.03 hrs, Volume= 0.073 af, Depth= 0.84"  
Routed to Link 1L : Existing

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
Type II 24-hr 2 year Rainfall=3.67"

Area (sf)	CN	Adj	Description
27,320	61		>75% Grass cover, Good, HSG B
3,931	98		Unconnected roofs, HSG B
4,226	98		Paved parking, HSG B
10,000	58		Woods/grass comb., Good, HSG B
45,477	67	65	Weighted Average, Uf Adjusted
37,320			82.06% Pervious Area
8,157			17.94% Impervious Area
3,931			48.19% Unconnected

Tc Length (feet)      Slope (ft/ft)      Velocity (ft/sec)      Capacity (cfs)      Description  
10.0      **Direct Entry,**

**2026-06-01 North Ridge Road Existing**

Prepared by Civil Design Works, LLC

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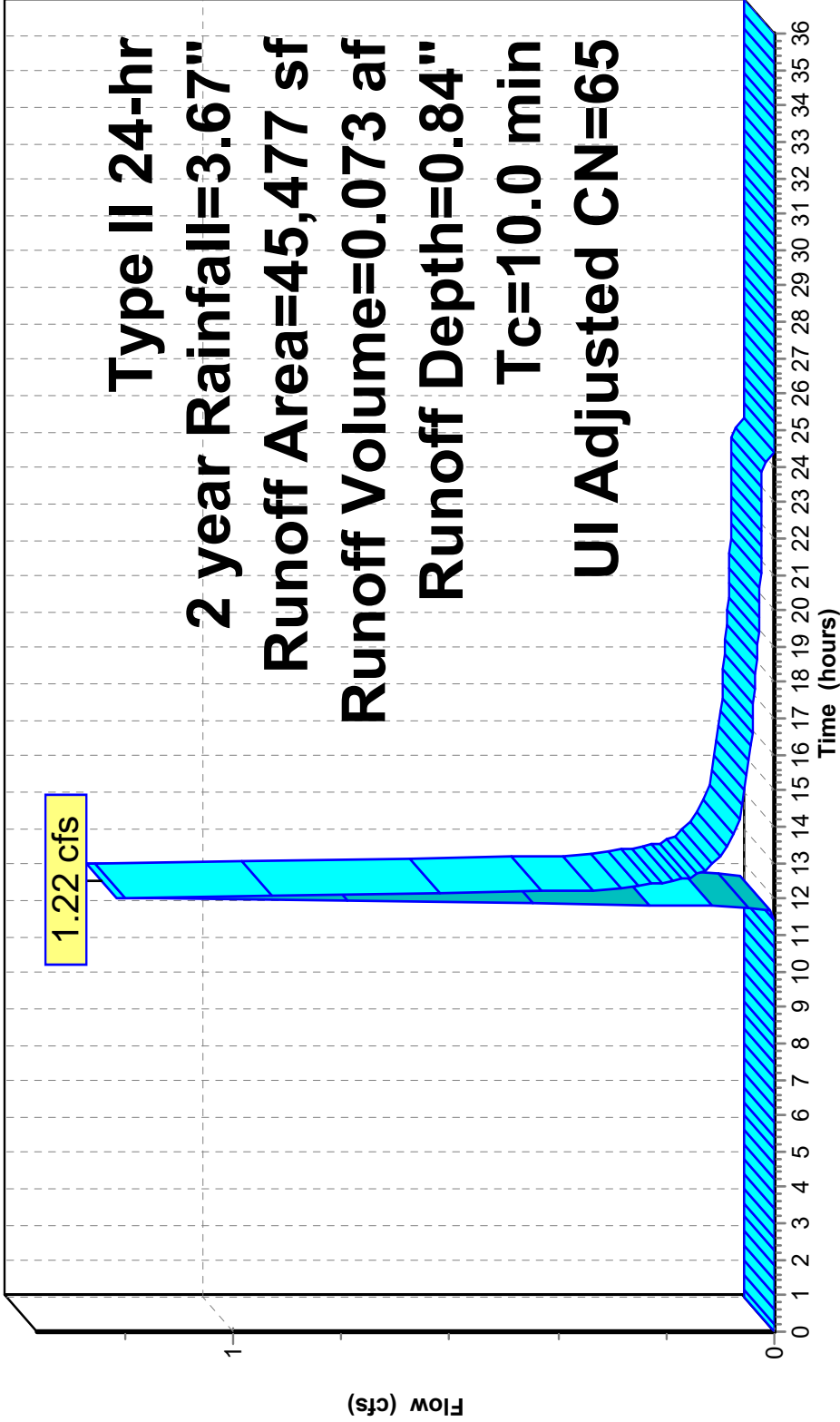
EXISTING CONDITIONS  
Type II 24-hr 2 year Rainfall=3.67"

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Page 6

**Subcatchment 2S: Existing Site Area**

**Hydrograph**



**2026-06-01 North Ridge Road Existing**

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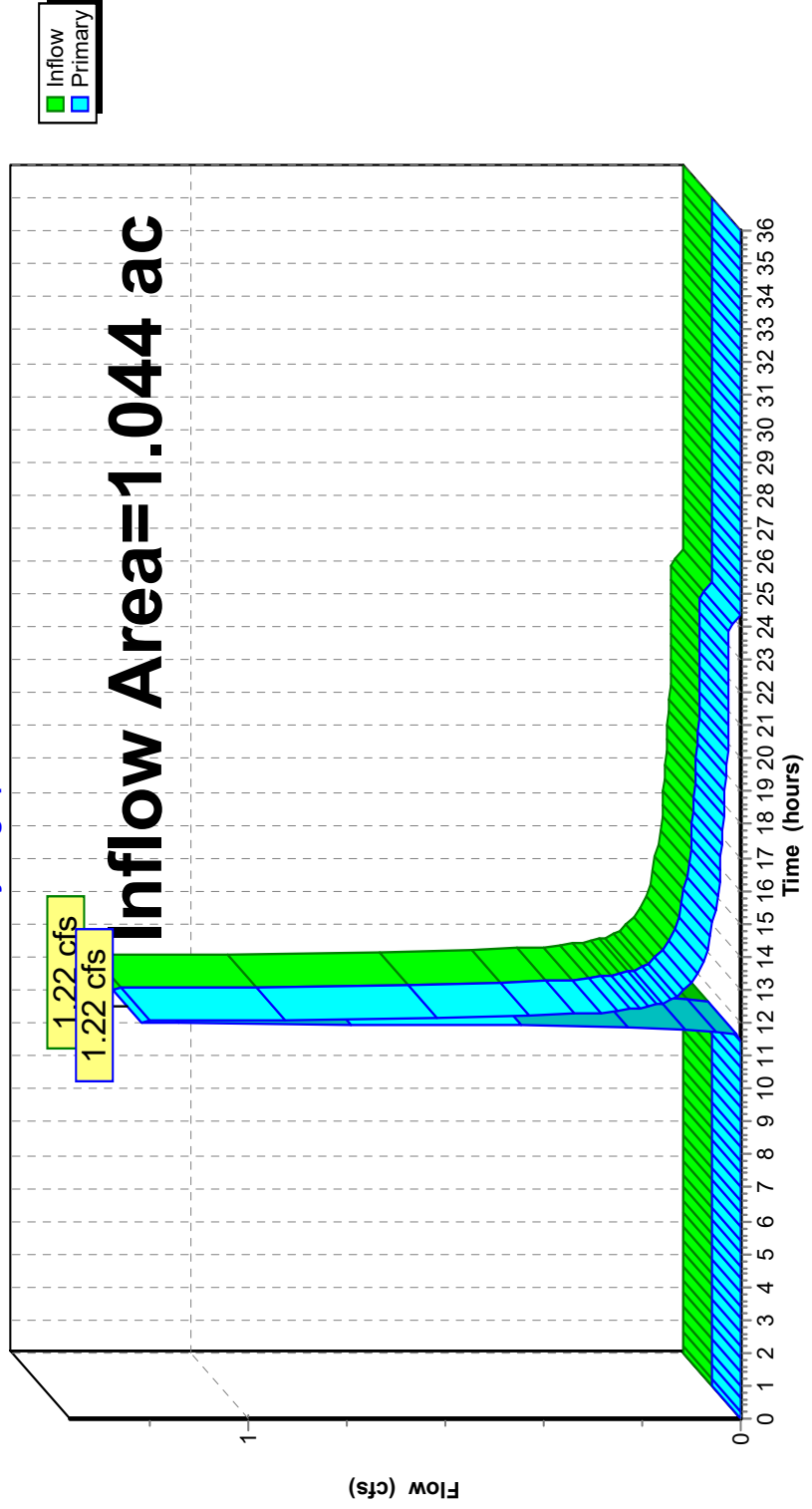
**Summary for Link 1L: Existing**

Inflow Area = 1.044 ac, 17.94% Impervious, Inflow Depth = 0.84" for 2 year event  
 Inflow = 1.22 cfs @ 12.03 hrs, Volume= 0.073 af  
 Primary = 1.22 cfs @ 12.03 hrs, Volume= 0.073 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

**Link 1L: Existing**

**Hydrograph**



**Summary for Subcatchment 2S: Existing Site Area**

Runoff = 3.46 cfs @ 12.02 hrs, Volume= 0.192 af, Depth= 2.21"  
 Routed to Link 1L : Existing

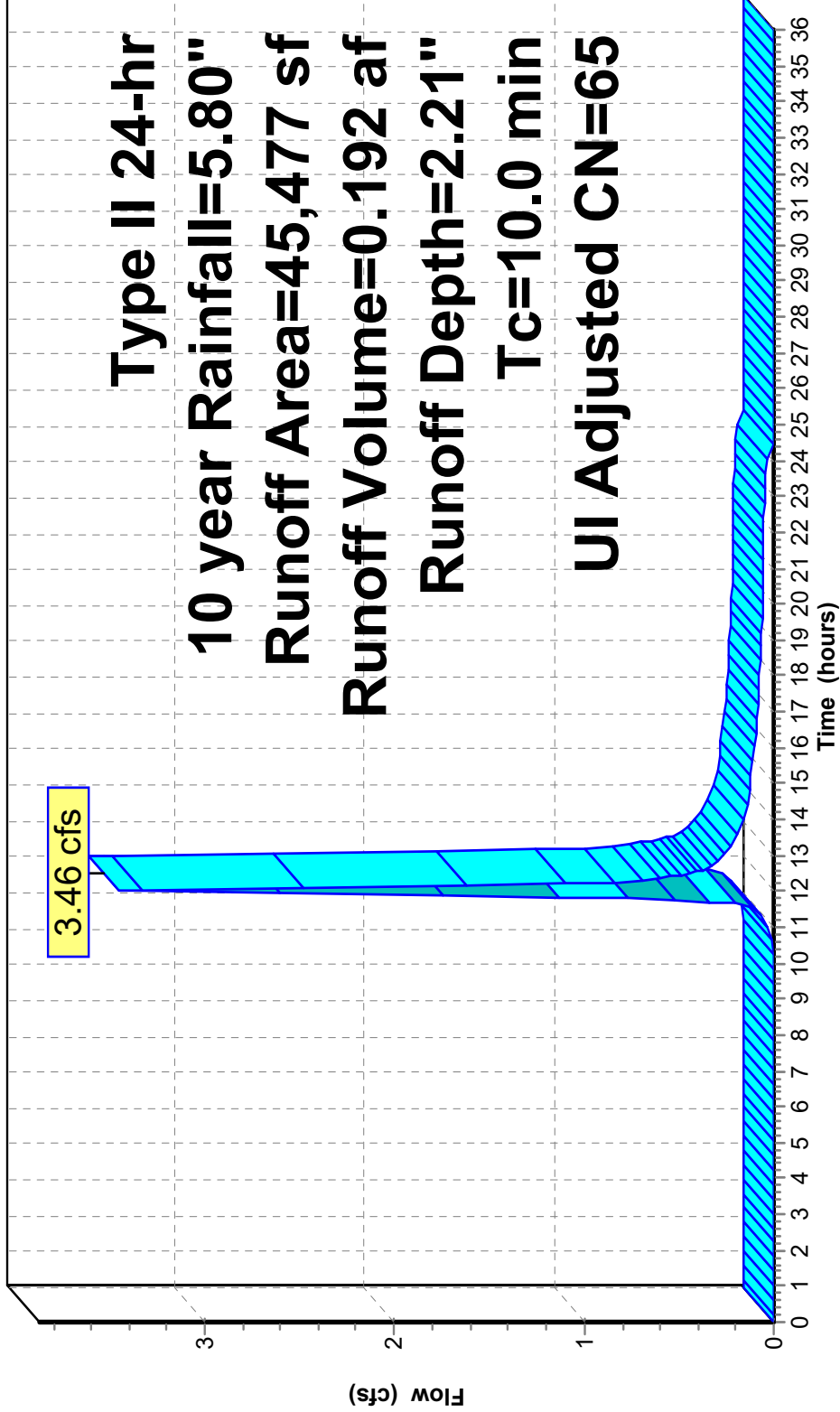
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Type II 24-hr 10 year Rainfall=5.80"

Area (sf)	CN	Adj	Description
27,320	61		>75% Grass cover, Good, HSG B
3,931	98		Unconnected roofs, HSG B
4,226	98		Paved parking, HSG B
10,000	58		Woods/grass comb., Good, HSG B
45,477	67	65	Weighted Average, Uf Adjusted
37,320			82.06% Pervious Area
8,157			17.94% Impervious Area
3,931			48.19% Unconnected

Tc Length Slope Velocity Capacity Description  
 (min) (feet) (ft/ft) (ft/sec) (cfs)  
 10.0 **Direct Entry,**

**Subcatchment 2S: Existing Site Area**

**Hydrograph**



**2026-06-01 North Ridge Road Existing**

Prepared by Civil Design Works, LLC  
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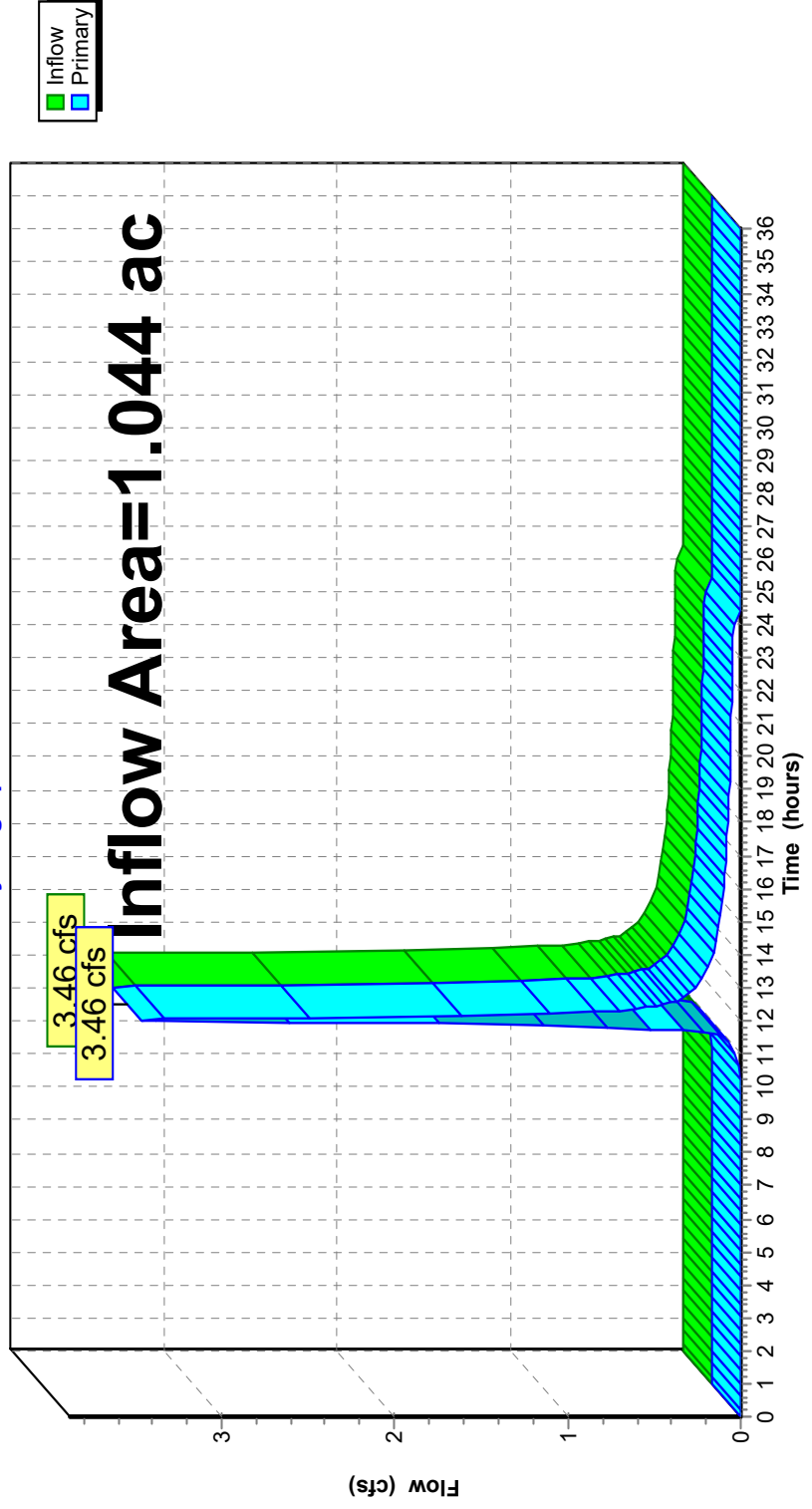
**Summary for Link 1L: Existing**

Inflow Area = 1.044 ac, 17.94% Impervious, Inflow Depth = 2.21" for 10 year event  
 Inflow = 3.46 cfs @ 12.02 hrs, Volume= 0.192 af  
 Primary = 3.46 cfs @ 12.02 hrs, Volume= 0.192 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

**Link 1L: Existing**

Hydrograph



**2026-06-01 North Ridge Road Existing**

Prepared by Civil Design Works, LLC  
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**Summary for Subcatchment 2S: Existing Site Area**

Runoff = 7.68 cfs @ 12.02 hrs, Volume= 0.423 af, Depth= 4.86"  
 Routed to Link 1L : Existing

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Type II 24-hr 100 year Rainfall=9.17"

Area (sf)	CN	Adj	Description
27,320	61		>75% Grass cover, Good, HSG B
3,931	98		Unconnected roofs, HSG B
4,226	98		Paved parking, HSG B
10,000	58		Woods/grass comb., Good, HSG B
45,477	67	65	Weighted Average, UJ Adjusted
37,320			82.06% Pervious Area
8,157			17.94% Impervious Area
3,931			48.19% Unconnected

Tc Length Slope Velocity Capacity Description  
 (min) (feet) (ft/ft) (ft/sec) (cfs)  
 10.0 **Direct Entry,**

**2026-06-01 North Ridge Road Existing**

Prepared by Civil Design Works, LLC

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EXISTING CONDITIONS

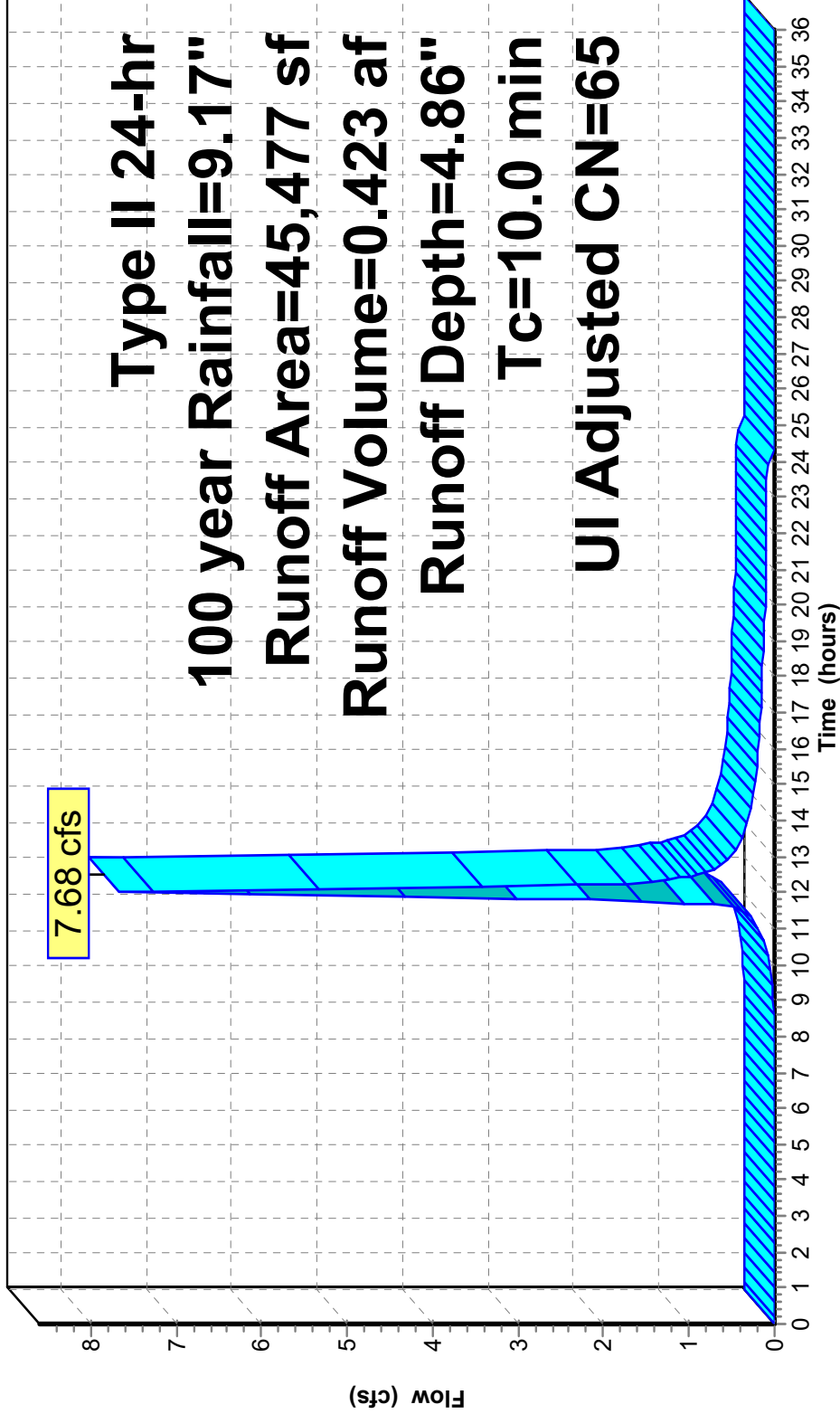
Type II 24-hr 100 year Rainfall=9.17"

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**Subcatchment 2S: Existing Site Area**

**Hydrograph**



**2026-06-01 North Ridge Road Existing**

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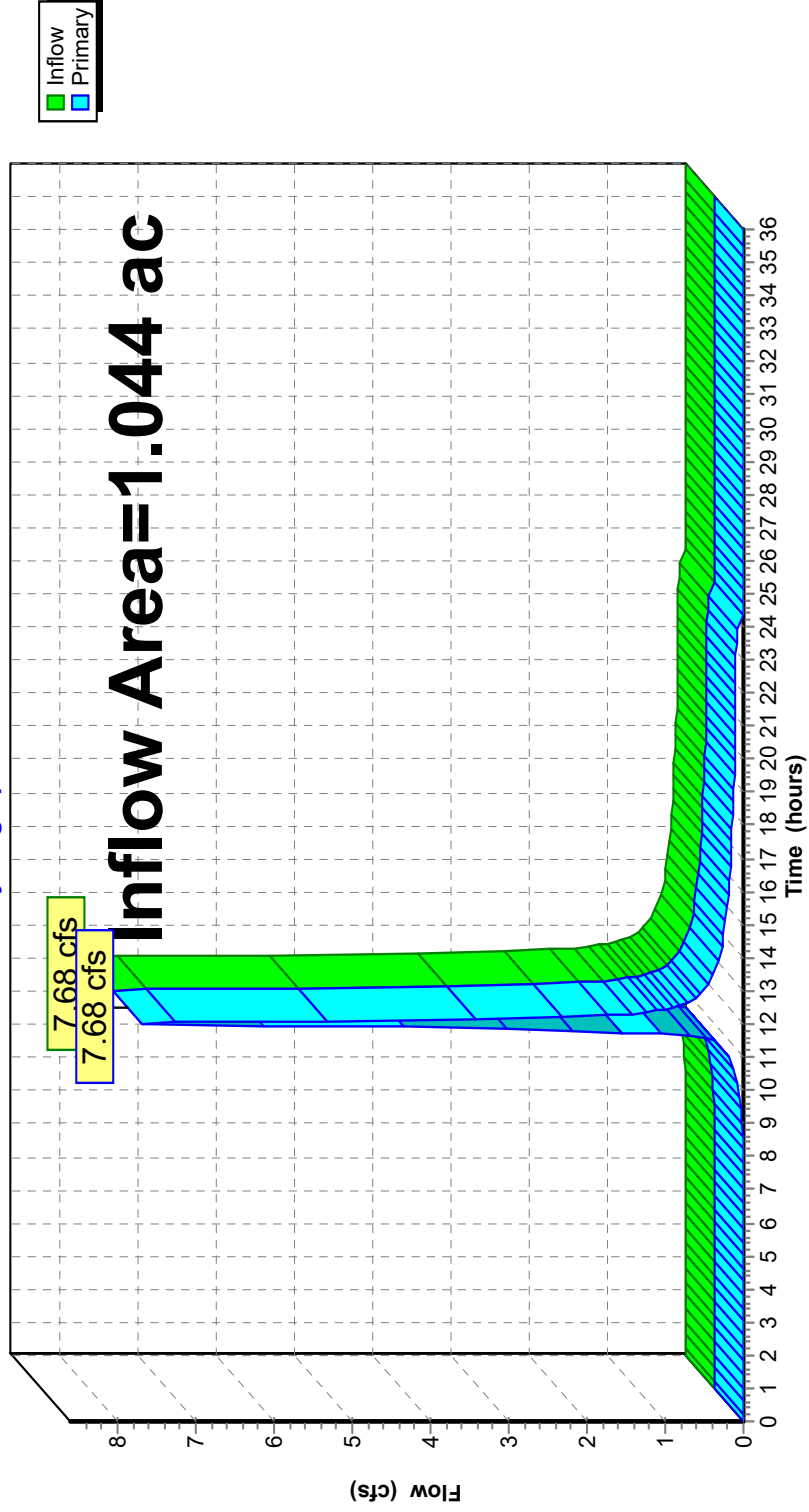
**Summary for Link 1L: Existing**

Inflow Area = 1.044 ac, 17.94% Impervious, Inflow Depth = 4.86" for 100 year event  
 Inflow = 7.68 cfs @ 12.02 hrs, Volume= 0.423 af  
 Primary = 7.68 cfs @ 12.02 hrs, Volume= 0.423 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

**Link 1L: Existing**

**Hydrograph**



**Events for Subcatchment 2S: Existing Site Area**

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
2 year	3.67	1.22	0.073	0.84
10 year	5.80	3.46	0.192	2.21
100 year	<b>9.17</b>	<b>7.68</b>	<b>0.423</b>	<b>4.86</b>

**2026-06-01 North Ridge Road Existing**

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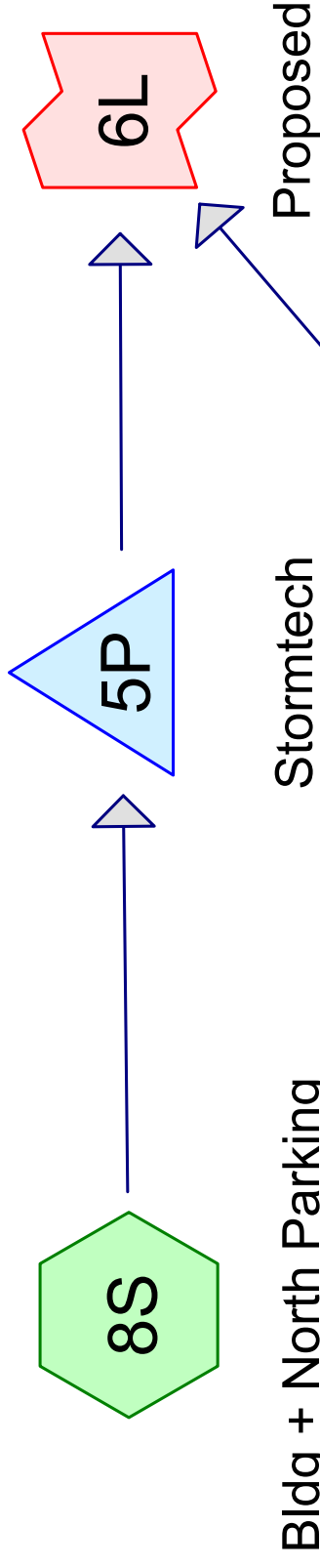
**Events for Link 1L: Existing**

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)
2 year	1.22	1.22	<b>0.00</b>
10 year	3.46	3.46	0.00
100 year	<b>7.68</b>	<b>7.68</b>	0.00

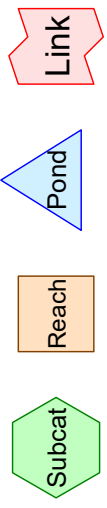
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# **Appendix C**

## **Proposed Conditions HydroCAD – Detailed Summary Report**



Direct to North Ridge Road



**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC

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Page 2

**Rainfall Events Listing**

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	2 year	Type II 24-hr		Default	24.00	1	3.67	2
2	10 year	Type II 24-hr		Default	24.00	1	5.80	2
3	100 year	Type II 24-hr		Default	24.00	1	9.17	2

**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC

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**Area Listing (all nodes)**

Area (acres)	CN	Description (subcatchment-numbers)
0.552	61	>75% Grass cover, Good, HSG B (8S, 9S)
0.373	98	Paved parking, HSG B (8S, 9S)
0.119	98	Unconnected roofs, HSG B (8S)
<b>1.044</b>	<b>78</b>	<b>TOTAL AREA</b>

**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC

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**Ground Covers (all nodes)**

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.552	0.000	0.000	0.000	0.552	>75% Grass cover, Good	8S, 9S
0.000	0.373	0.000	0.000	0.000	0.373	Paved parking	8S, 9S
0.000	0.119	0.000	0.000	0.000	0.119	Unconnected roofs	8S
<b>0.000</b>	<b>1.044</b>	<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>1.044</b>	<b>TOTAL AREA</b>	

**Summary for Subcatchment 8S: Bldg + North Parking**

Runoff = 1.57 cfs @ 12.02 hrs, Volume= 0.087 af, Depth= 2.00"  
 Routed to Pond 5P : Stormtech

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Type II 24-hr 2 year Rainfall=3.67"

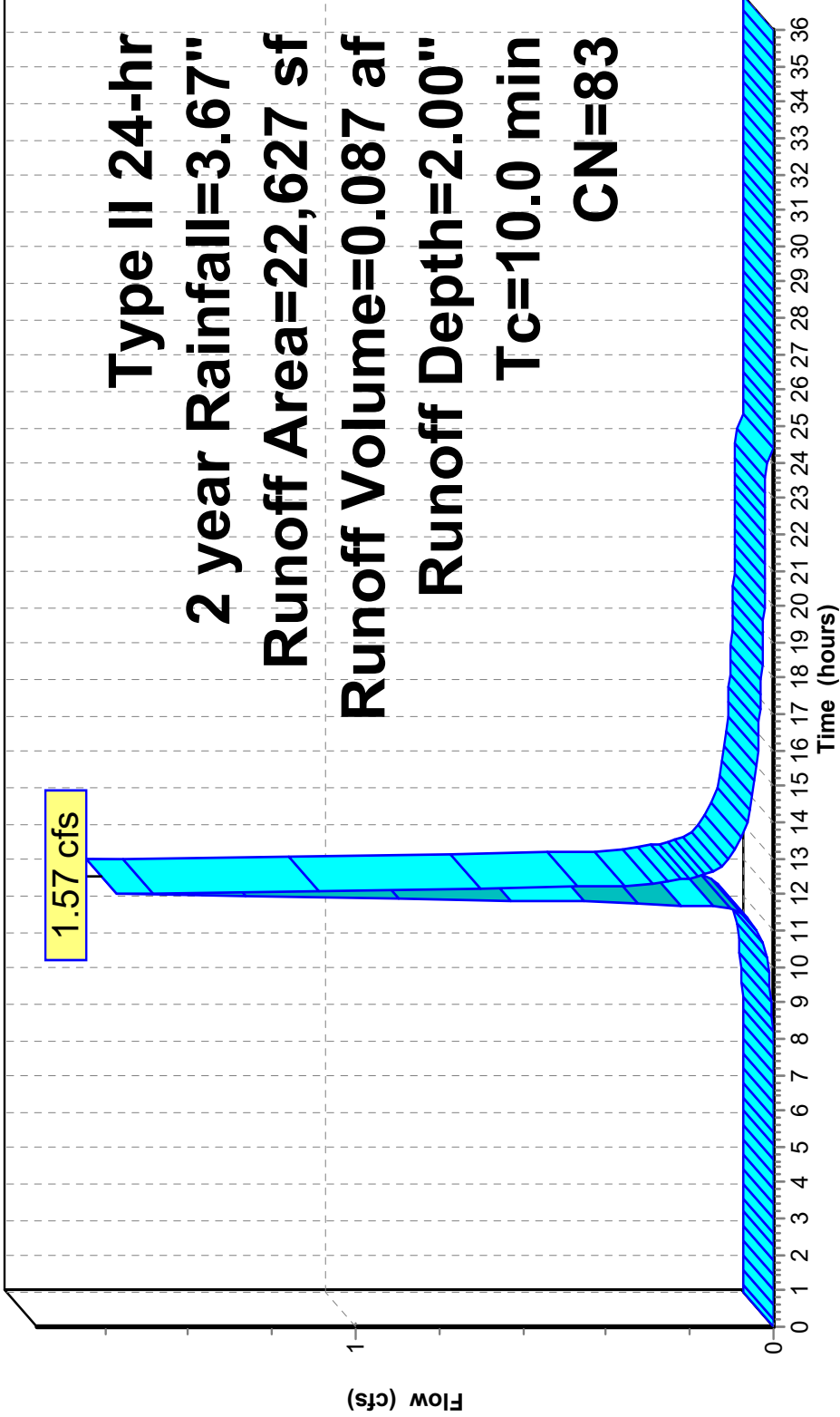
Area (sf)	CN	Description
9,025	61	>75% Grass cover, Good, HSG B
5,201	98	Unconnected roofs, HSG B
8,401	98	Paved parking, HSG B
22,627	83	Weighted Average
9,025		39.89% Pervious Area
13,602		60.11% Impervious Area
5,201		38.24% Unconnected

Tc Length Slope Velocity Capacity Description  
 (min) (feet) (ft/ft) (ft/sec) (cfs)  
 10.0

**Direct Entry,**

Subcatchment 8S: Bldg + North Parking

Hydrograph



**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC  
 HydroCAD® 10.20-9a s/n 10277 © 2026 HydroCAD Software Solutions LLC

**Summary for Subcatchment 9S: Direct to North Ridge Road**

Runoff = 1.07 cfs @ 12.02 hrs, Volume= 0.059 af, Depth= 1.36"  
 Routed to Link 6L : Proposed

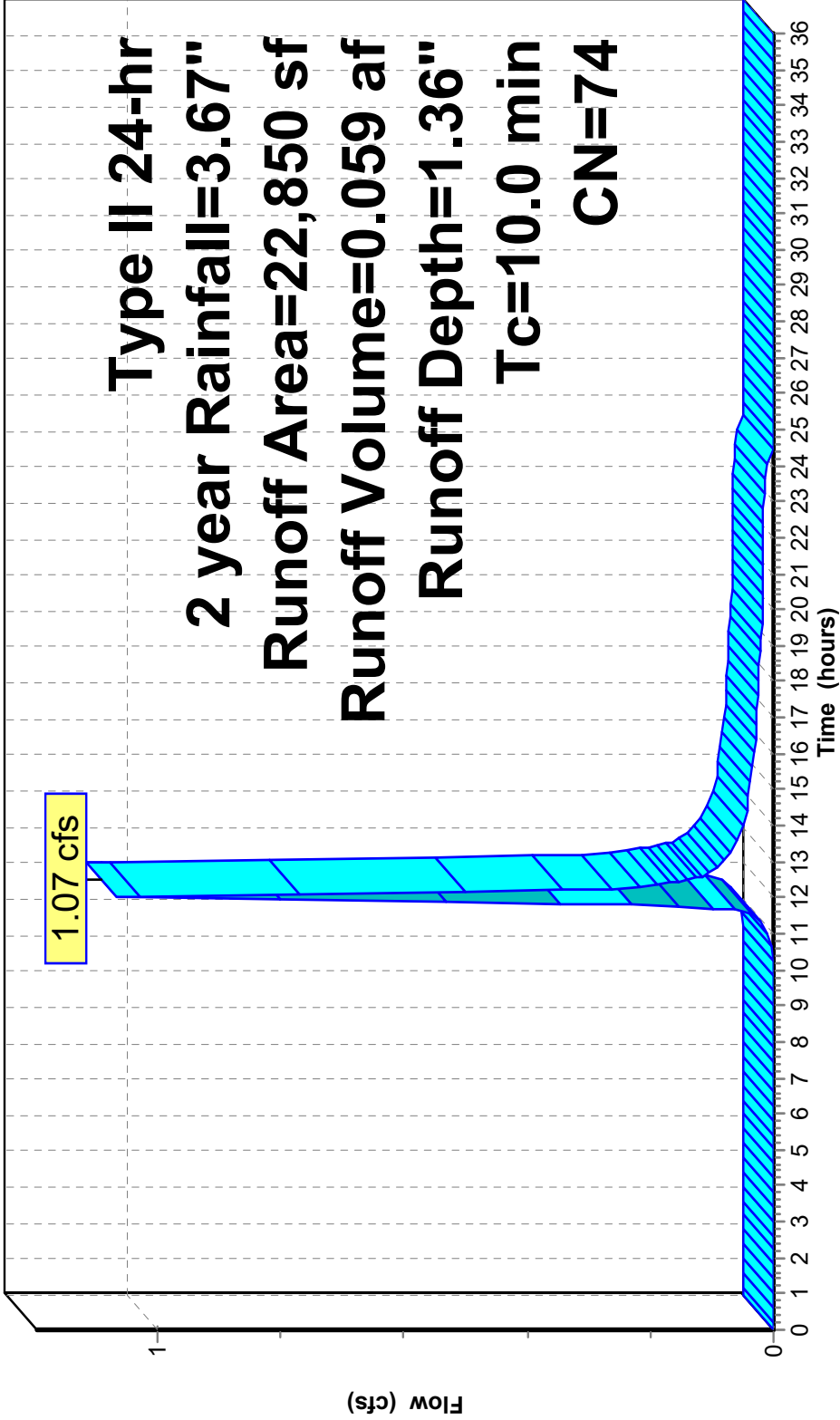
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Type II 24-hr 2 year Rainfall=3.67"

Area (sf)	CN	Description
15,000	61	>75% Grass cover, Good, HSG B
7,850	98	Paved parking, HSG B
22,850	74	Weighted Average
15,000		65.65% Pervious Area
7,850		34.35% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					<b>Direct Entry,</b>

Subcatchment 9S: Direct to North Ridge Road

Hydrograph



**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC

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**Summary for Pond 5P: Stormtech**

Inflow Area = 0.519 ac, 60.11% Impervious, Inflow Depth = 2.00" for 2 year event  
 Inflow = 1.57 cfs @ 12.02 hrs, Volume= 0.087 af  
 Outflow = 0.27 cfs @ 12.33 hrs, Volume= 0.087 af, Atten= 83%, Lag= 18.7 min  
 Discarded = 0.27 cfs @ 12.33 hrs, Volume= 0.087 af  
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routed to Link 6L : Proposed

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs / 5  
 Peak Elev= 801.57' @ 12.33 hrs Surf.Area= 0.029 ac Storage= 0.028 af

Plug-Flow detention time= 32.9 min calculated for 0.087 af (100% of inflow)  
 Center-of-Mass det. time= 32.8 min ( 860.0 - 827.2 )

Volume	Invert	Avail.Storage	Storage Description
#1A	800.00'	0.042 af	<b>22.75"W x 55.89"L x 5.50'H Field A</b> 0.161 af Overall - 0.055 af Embedded = 0.105 af x 40.0% Voids
#2A	800.75'	0.055 af	<b>ADS_StormTech MC-3500 d +Cap x 21 Inside #1</b> Effective Size= 70.4"W x 45.0"H => 15.33 sf x 7.17'L = 110.0 cf Overall Size= 77.0"W x 45.0"H x 7.50'L with 0.33' Overlap 21 Chambers in 3 Rows Cap Storage= 14.9 cf x 2 x 3 rows = 89.4 cf
		0.097 af	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	800.00'	<b>6.000 in/hr Exfiltration over Surface area</b> Conductivity to Groundwater Elevation = 797.00'
#2	Primary	802.50'	<b>10.0" Vert. Orifice/Grate</b> C= 0.600 Limited to weir flow at low heads
#3	Primary	804.50'	<b>4.0' long x 0.5' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 Coef. (English) 2.80 2.92 3.08 3.30 3.32

**2026-06-01 North Ridge Road Proposed**

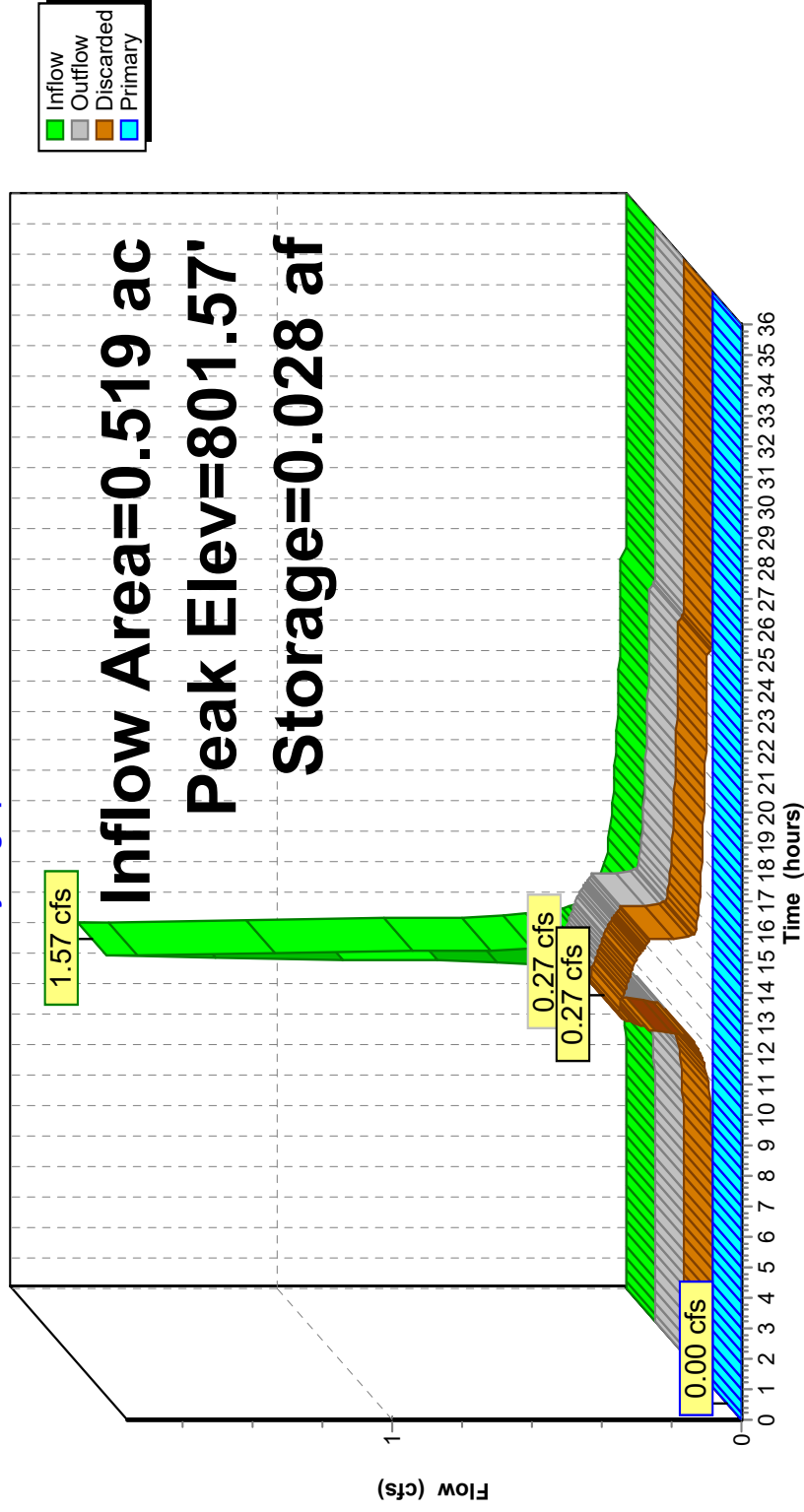
Prepared by Civil Design Works, LLC  
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Discarded OutFlow Max=0.27 cfs @ 12.33 hrs HW=801.57' (Free Discharge)  
 1=Exfiltration ( Controls 0.27 cfs)

Primary OutFlow Max=0.00 cfs @ 0.00 hrs HW=800.00' (Free Discharge)  
 2=Orifice/Grate ( Controls 0.00 cfs)  
 3=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

**Pond 5P: Stormtech**

**Hydrograph**



**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC

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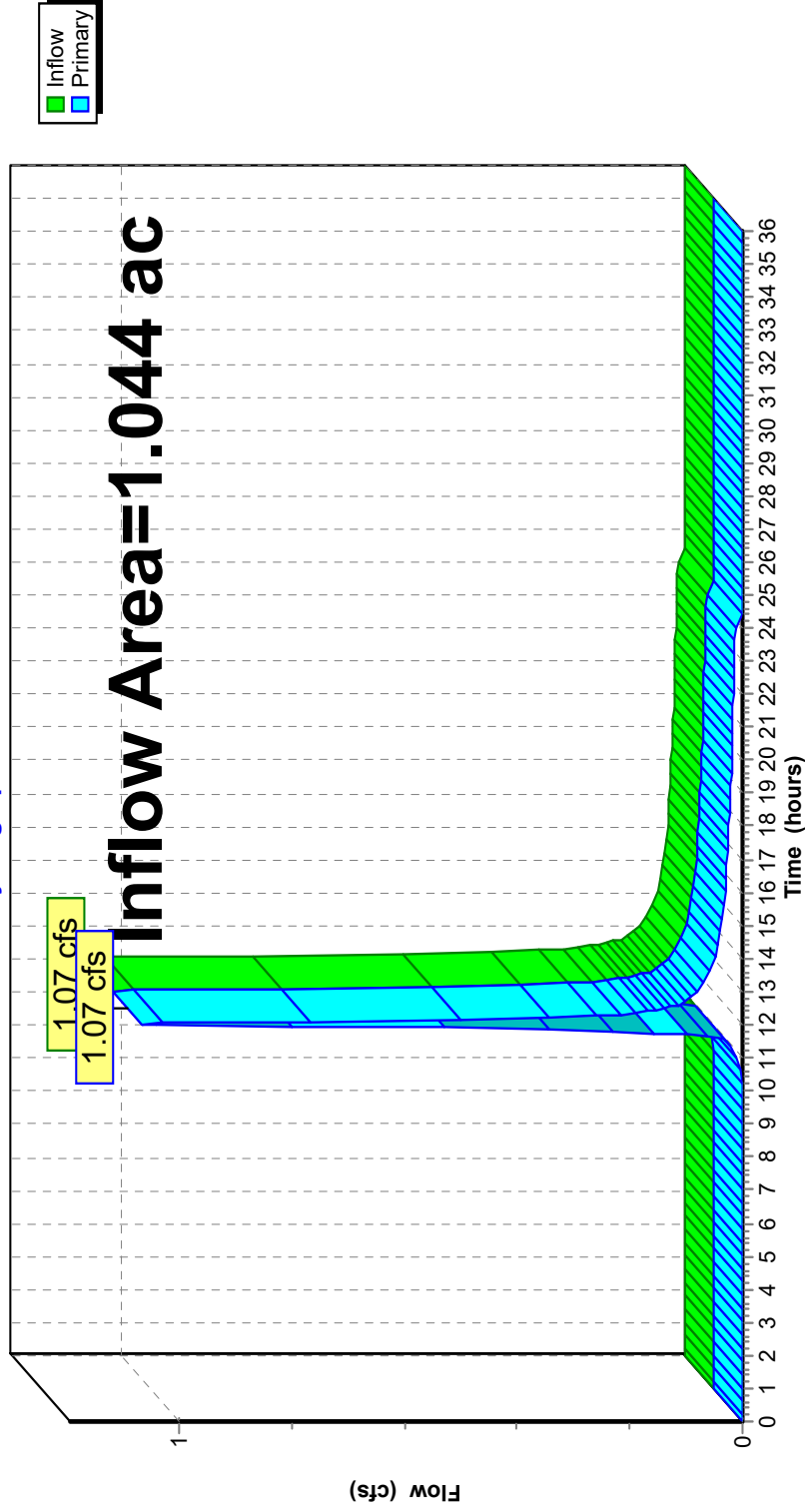
**Summary for Link 6L: Proposed**

Inflow Area = 1.044 ac, 47.17% Impervious, Inflow Depth = 0.68" for 2 year event  
 Inflow = 1.07 cfs @ 12.02 hrs, Volume= 0.059 af  
 Primary = 1.07 cfs @ 12.02 hrs, Volume= 0.059 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

**Link 6L: Proposed**

Hydrograph



**Summary for Subcatchment 8S: Bldg + North Parking**

Runoff = 3.01 cfs @ 12.01 hrs, Volume= 0.169 af, Depth= 3.91"  
 Routed to Pond 5P : Stormtech

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Type II 24-hr 10 year Rainfall=5.80"

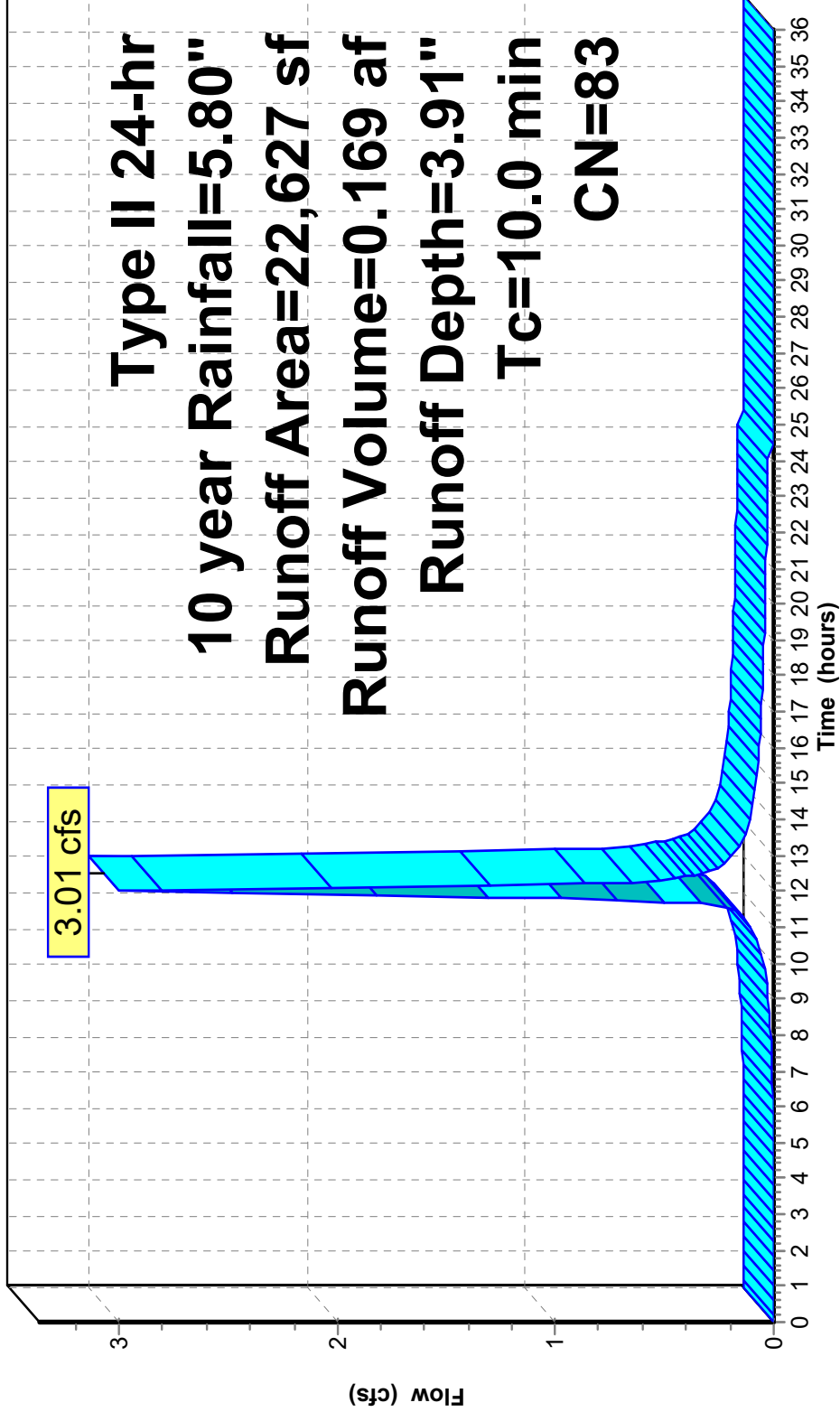
Area (sf)	CN	Description
9,025	61	>75% Grass cover, Good, HSG B
5,201	98	Unconnected roofs, HSG B
8,401	98	Paved parking, HSG B
22,627	83	Weighted Average
9,025		39.89% Pervious Area
13,602		60.11% Impervious Area
5,201		38.24% Unconnected

Tc Length Slope Velocity Capacity Description  
 (min) (feet) (ft/ft) (ft/sec) (cfs)  
 10.0

**Direct Entry,**

Subcatchment 8S: Bldg + North Parking

Hydrograph



**Summary for Subcatchment 9S: Direct to North Ridge Road**

Runoff = 2.40 cfs @ 12.02 hrs, Volume= 0.132 af, Depth= 3.02"  
 Routed to Link 6L : Proposed

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Type II 24-hr 10 year Rainfall=5.80"

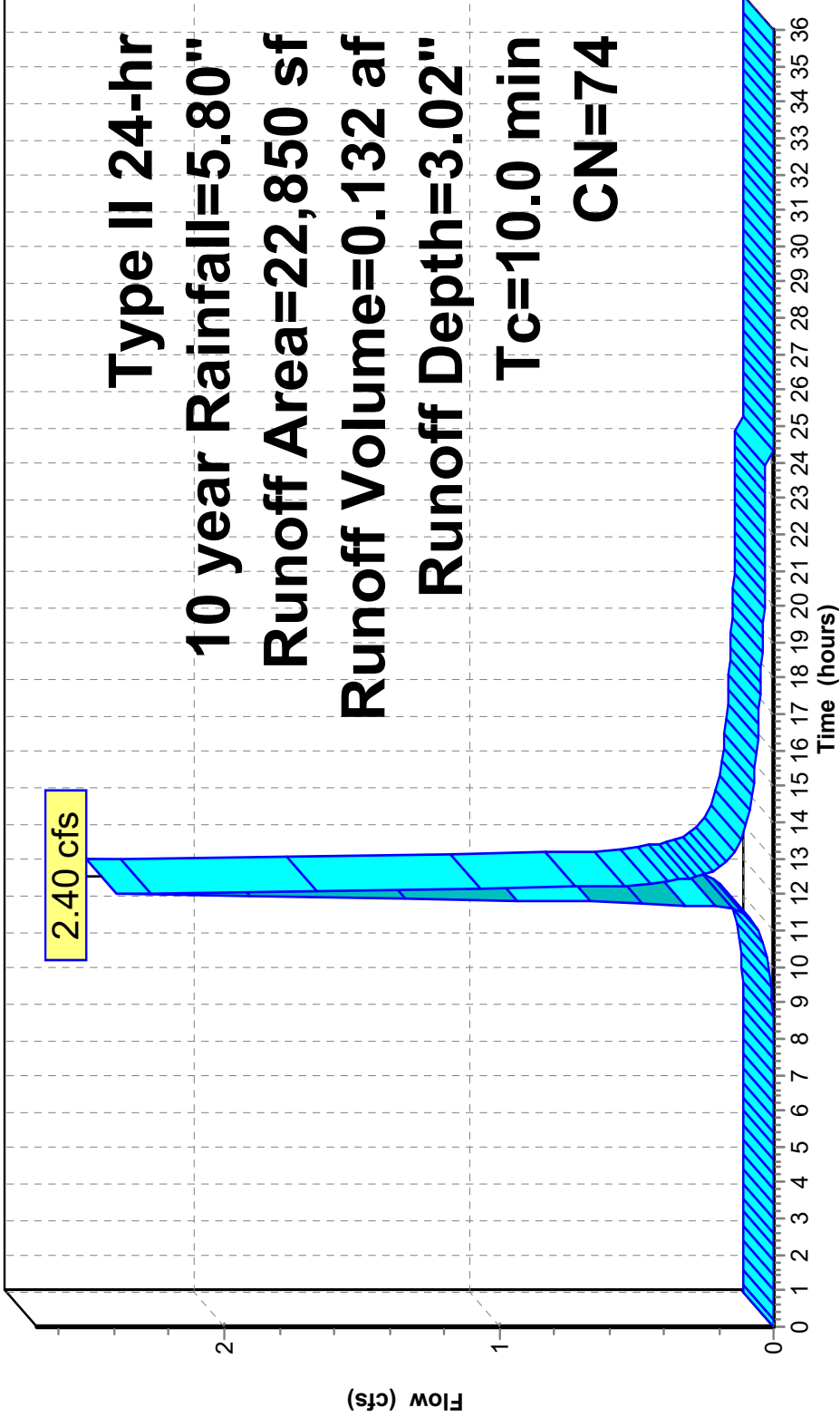
Area (sf)	CN	Description
15,000	61	>75% Grass cover, Good, HSG B
7,850	98	Paved parking, HSG B
22,850	74	Weighted Average
15,000		65.65% Pervious Area
7,850		34.35% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					<b>Direct Entry,</b>

Subcatchment 9S: Direct to North Ridge Road

Hydrograph



**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC

HydroCAD® 10.20-9a s/n 10277 © 2026 HydroCAD Software Solutions LLC

**Summary for Pond 5P: Stormtech**

Inflow Area = 0.519 ac, 60.11% Impervious, Inflow Depth = 3.91" for 10 year event  
 Inflow = 3.01 cfs @ 12.01 hrs, Volume= 0.169 af  
 Outflow = 0.92 cfs @ 12.20 hrs, Volume= 0.169 af, Atten= 69%, Lag= 11.5 min  
 Discarded = 0.35 cfs @ 12.20 hrs, Volume= 0.156 af  
 Primary = 0.57 cfs @ 12.20 hrs, Volume= 0.014 af

Routed to Link 6L : Proposed

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs / 5  
 Peak Elev= 802.91' @ 12.20 hrs Surf.Area= 0.029 ac Storage= 0.058 af

Plug-Flow detention time= 51.5 min calculated for 0.169 af (100% of inflow)  
 Center-of-Mass det. time= 51.4 min ( 859.6 - 808.2 )

Volume	Invert	Avail.Storage	Storage Description
#1A	800.00'	0.042 af	<b>22.75"W x 55.89"L x 5.50'H Field A</b> 0.161 af Overall - 0.055 af Embedded = 0.105 af x 40.0% Voids
#2A	800.75'	0.055 af	<b>ADS_StormTech MC-3500 d +Cap x 21 Inside #1</b> Effective Size= 70.4"W x 45.0"H => 15.33 sf x 7.17'L = 110.0 cf Overall Size= 77.0"W x 45.0"H x 7.50'L with 0.33' Overlap 21 Chambers in 3 Rows Cap Storage= 14.9 cf x 2 x 3 rows = 89.4 cf
		0.097 af	Total Available Storage

Storage Group A created with Chamber Wizard

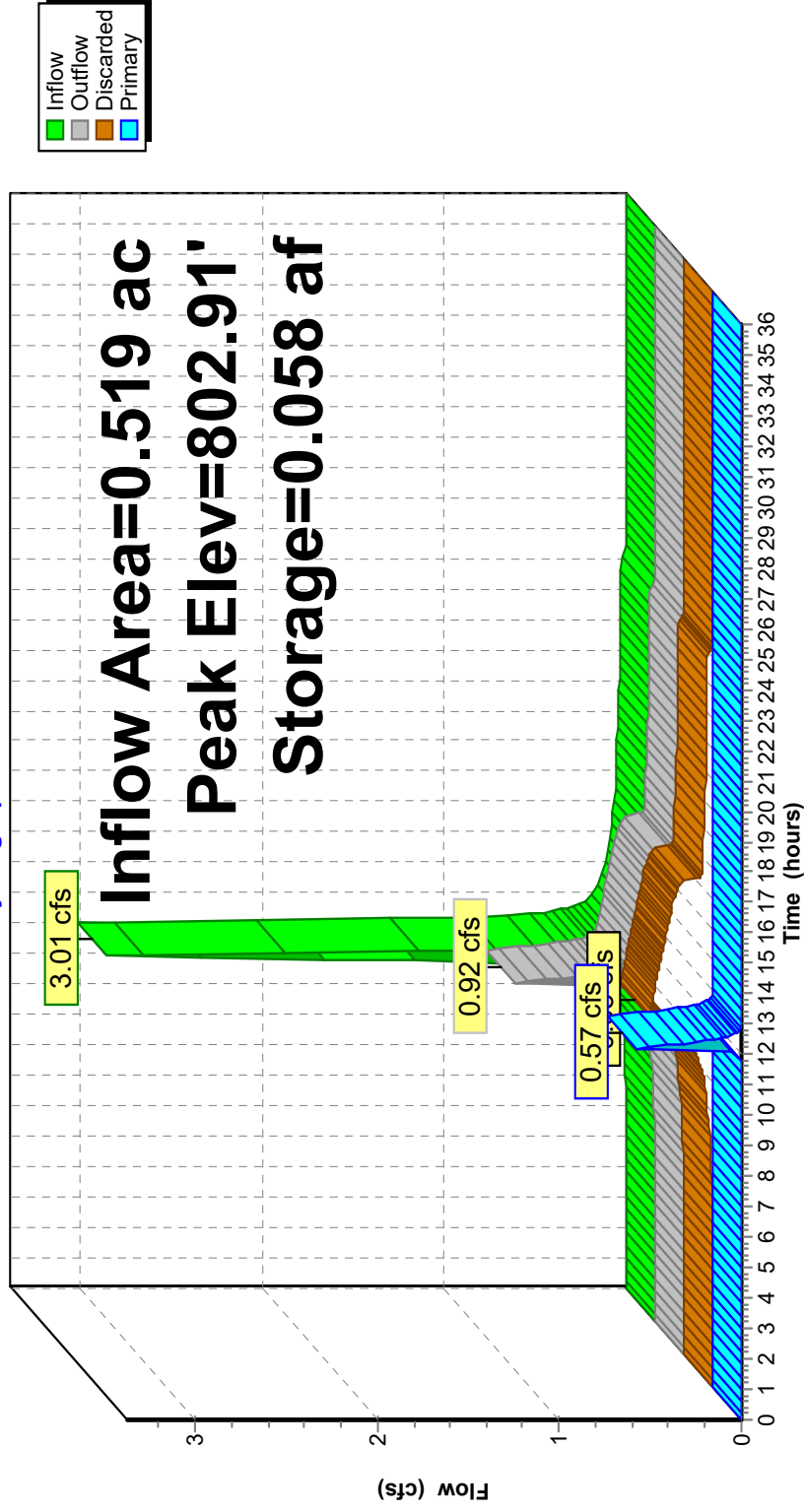
Device	Routing	Invert	Outlet Devices
#1	Discarded	800.00'	<b>6.000 in/hr Exfiltration over Surface area</b> Conductivity to Groundwater Elevation = 797.00'
#2	Primary	802.50'	<b>10.0" Vert. Orifice/Grate</b> C= 0.600 Limited to weir flow at low heads
#3	Primary	804.50'	<b>4.0' long x 0.5' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 Coef. (English) 2.80 2.92 3.08 3.30 3.32

Discarded OutFlow Max=0.35 cfs @ 12.20 hrs HW=802.90' (Free Discharge)  
 1=Exfiltration ( Controls 0.35 cfs)

Primary OutFlow Max=0.57 cfs @ 12.20 hrs HW=802.90' (Free Discharge)  
 2=Orifice/Grate (Orifice Controls 0.57 cfs @ 2.16 fps)  
 3=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

**Pond 5P: Stormtech**

**Hydrograph**



**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC

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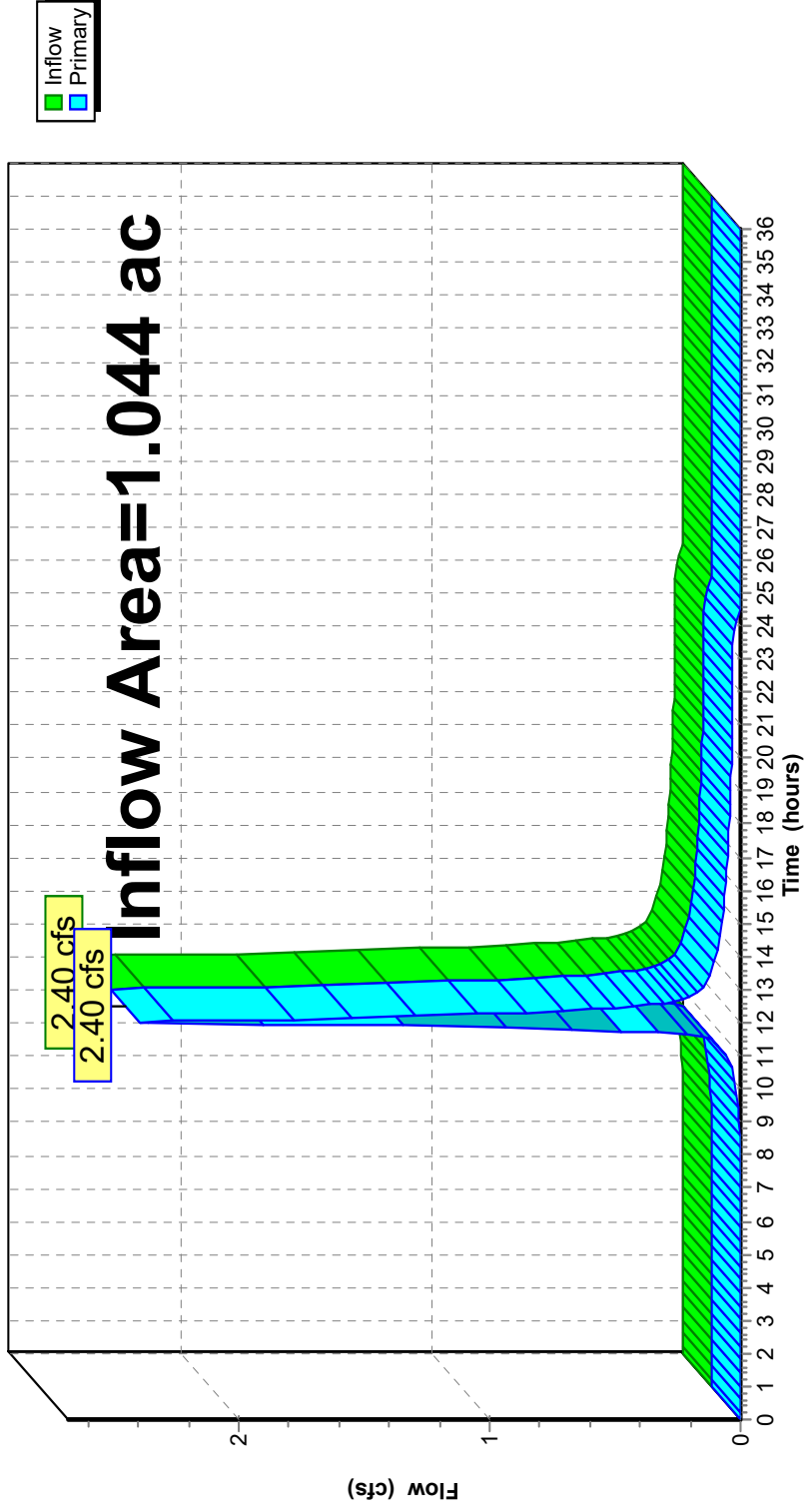
**Summary for Link 6L: Proposed**

Inflow Area = 1.044 ac, 47.17% Impervious, Inflow Depth = 1.67" for 10 year event  
 Inflow = 2.40 cfs @ 12.02 hrs, Volume= 0.145 af  
 Primary = 2.40 cfs @ 12.02 hrs, Volume= 0.145 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

**Link 6L: Proposed**

Hydrograph



**Summary for Subcatchment 8S: Bldg + North Parking**

Runoff = 5.30 cfs @ 12.01 hrs, Volume= 0.307 af, Depth= 7.10"  
 Routed to Pond 5P : Stormtech

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Type II 24-hr 100 year Rainfall=9.17"

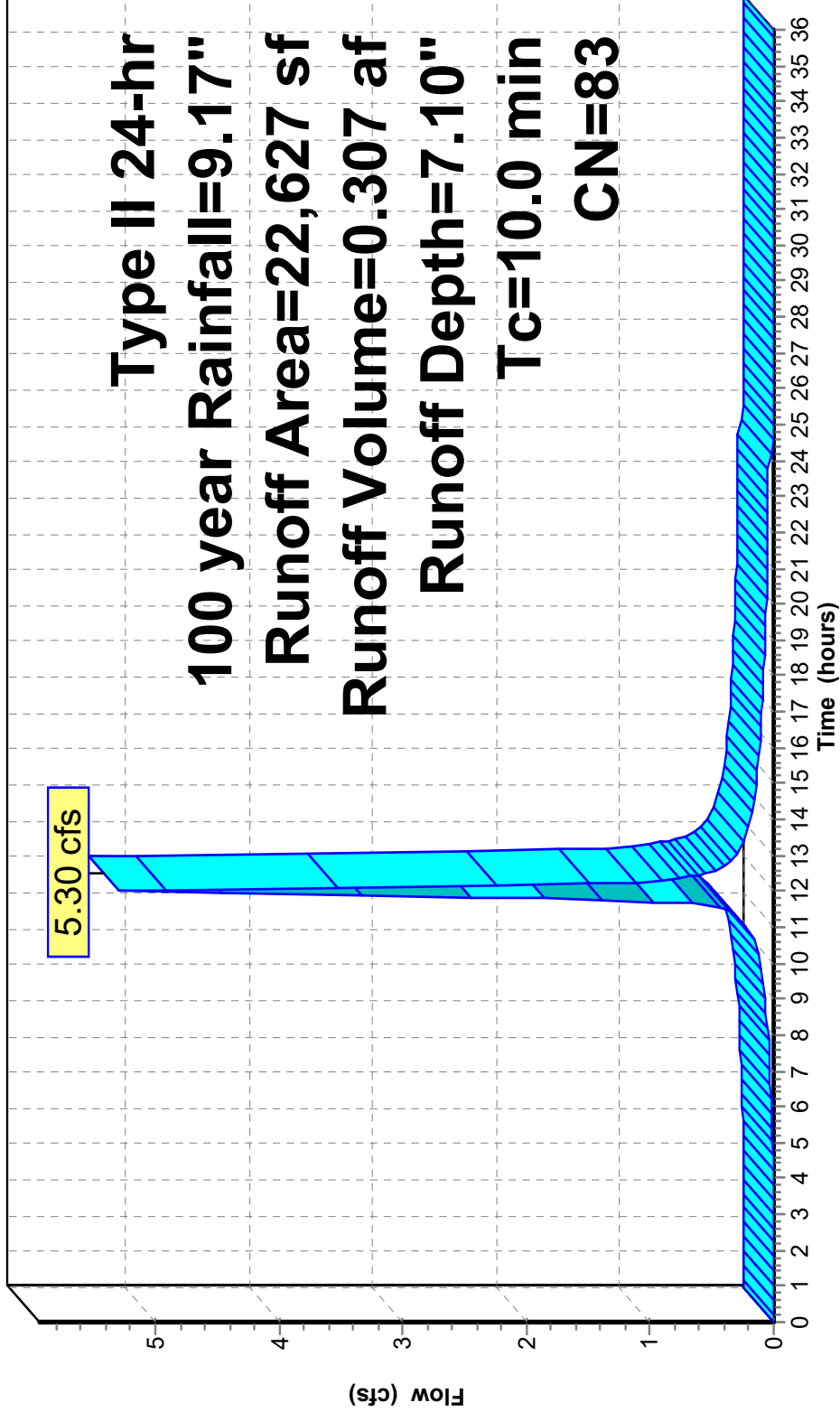
Area (sf)	CN	Description
9,025	61	>75% Grass cover, Good, HSG B
5,201	98	Unconnected roofs, HSG B
8,401	98	Paved parking, HSG B
22,627	83	Weighted Average
9,025		39.89% Pervious Area
13,602		60.11% Impervious Area
5,201		38.24% Unconnected

Tc Length Slope Velocity Capacity Description  
 (min) (feet) (ft/ft) (ft/sec) (cfs)  
 10.0

**Direct Entry,**

Subcatchment 8S: Bldg + North Parking

Hydrograph



**Summary for Subcatchment 9S: Direct to North Ridge Road**

Runoff = 4.68 cfs @ 12.01 hrs, Volume= 0.262 af, Depth= 5.98"  
 Routed to Link 6L : Proposed

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Type II 24-hr 100 year Rainfall=9.17"

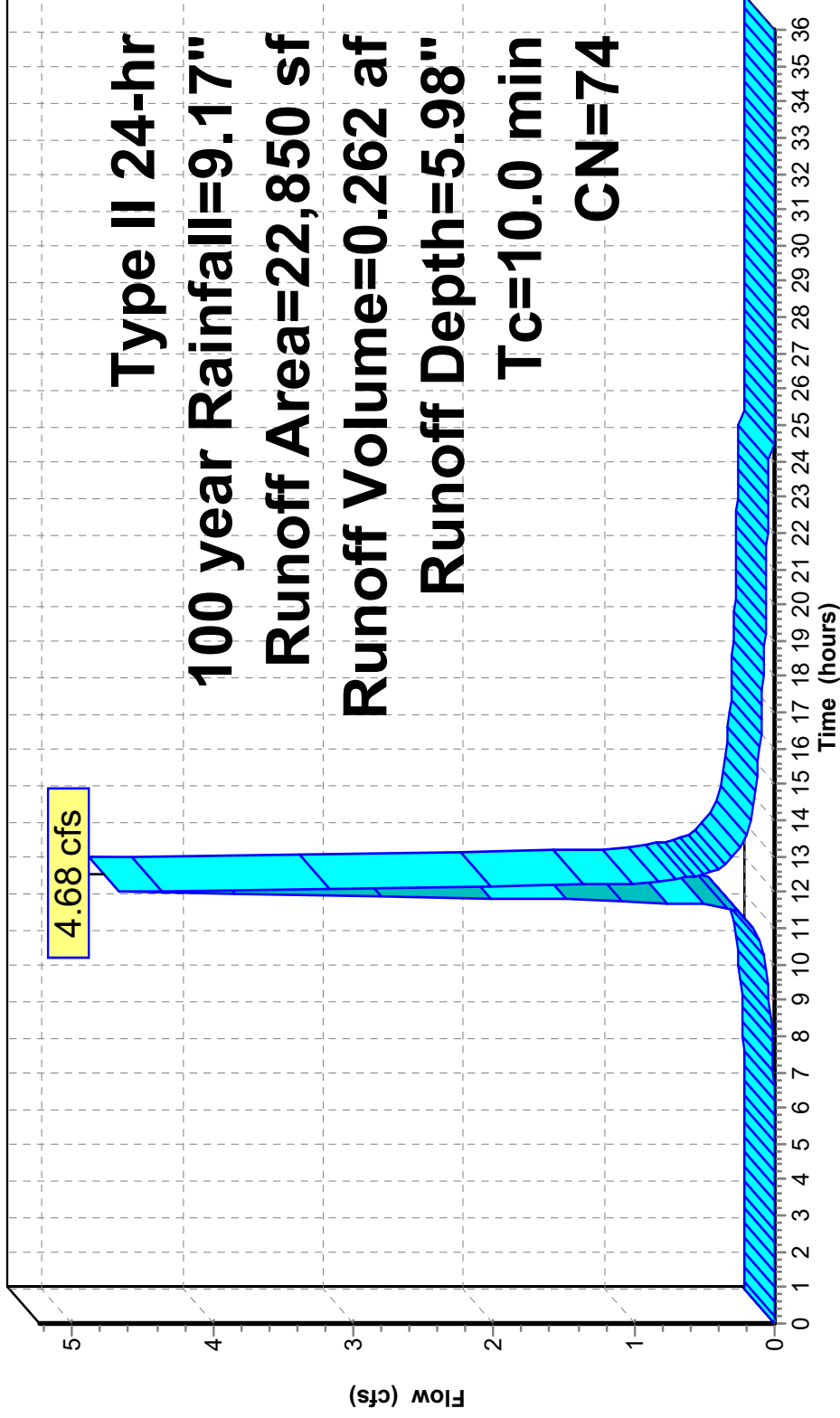
Area (sf)	CN	Description
15,000	61	>75% Grass cover, Good, HSG B
7,850	98	Paved parking, HSG B
22,850	74	Weighted Average
15,000		65.65% Pervious Area
7,850		34.35% Impervious Area

Tc Length Slope Velocity Capacity Description  
 (min) (feet) (ft/ft) (ft/sec) (cfs)  
 10.0

**Direct Entry,**

Subcatchment 9S: Direct to North Ridge Road

Hydrograph



**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC

HydroCAD® 10.20-9a s/n 10277 © 2026 HydroCAD Software Solutions LLC

**Summary for Pond 5P: Stormtech**

Inflow Area = 0.519 ac, 60.11% Impervious, Inflow Depth = 7.10" for 100 year event  
 Inflow = 5.30 cfs @ 12.01 hrs, Volume= 0.307 af  
 Outflow = 3.42 cfs @ 12.11 hrs, Volume= 0.307 af, Atten= 36%, Lag= 5.9 min  
 Discarded = 0.42 cfs @ 12.11 hrs, Volume= 0.221 af  
 Primary = 3.00 cfs @ 12.11 hrs, Volume= 0.087 af

Routed to Link 6L : Proposed

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs / 5  
 Peak Elev= 804.22' @ 12.11 hrs Surf.Area= 0.029 ac Storage= 0.082 af

Plug-Flow detention time= 42.2 min calculated for 0.307 af (100% of inflow)  
 Center-of-Mass det. time= 41.7 min ( 833.1 - 791.4 )

Volume	Invert	Avail.Storage	Storage Description
#1A	800.00'	0.042 af	<b>22.75"W x 55.89"L x 5.50'H Field A</b> 0.161 af Overall - 0.055 af Embedded = 0.105 af x 40.0% Voids
#2A	800.75'	0.055 af	<b>ADS_StormTech MC-3500 d +Cap x 21 Inside #1</b> Effective Size= 70.4"W x 45.0"H => 15.33 sf x 7.17'L = 110.0 cf Overall Size= 77.0"W x 45.0"H x 7.50'L with 0.33' Overlap 21 Chambers in 3 Rows Cap Storage= 14.9 cf x 2 x 3 rows = 89.4 cf
		0.097 af	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	800.00'	<b>6.000 in/hr Exfiltration over Surface area</b> Conductivity to Groundwater Elevation = 797.00'
#2	Primary	802.50'	<b>10.0" Vert. Orifice/Grate</b> C= 0.600 Limited to weir flow at low heads
#3	Primary	804.50'	<b>4.0' long x 0.5' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 Coef. (English) 2.80 2.92 3.08 3.30 3.32

**2026-06-01 North Ridge Road Proposed**

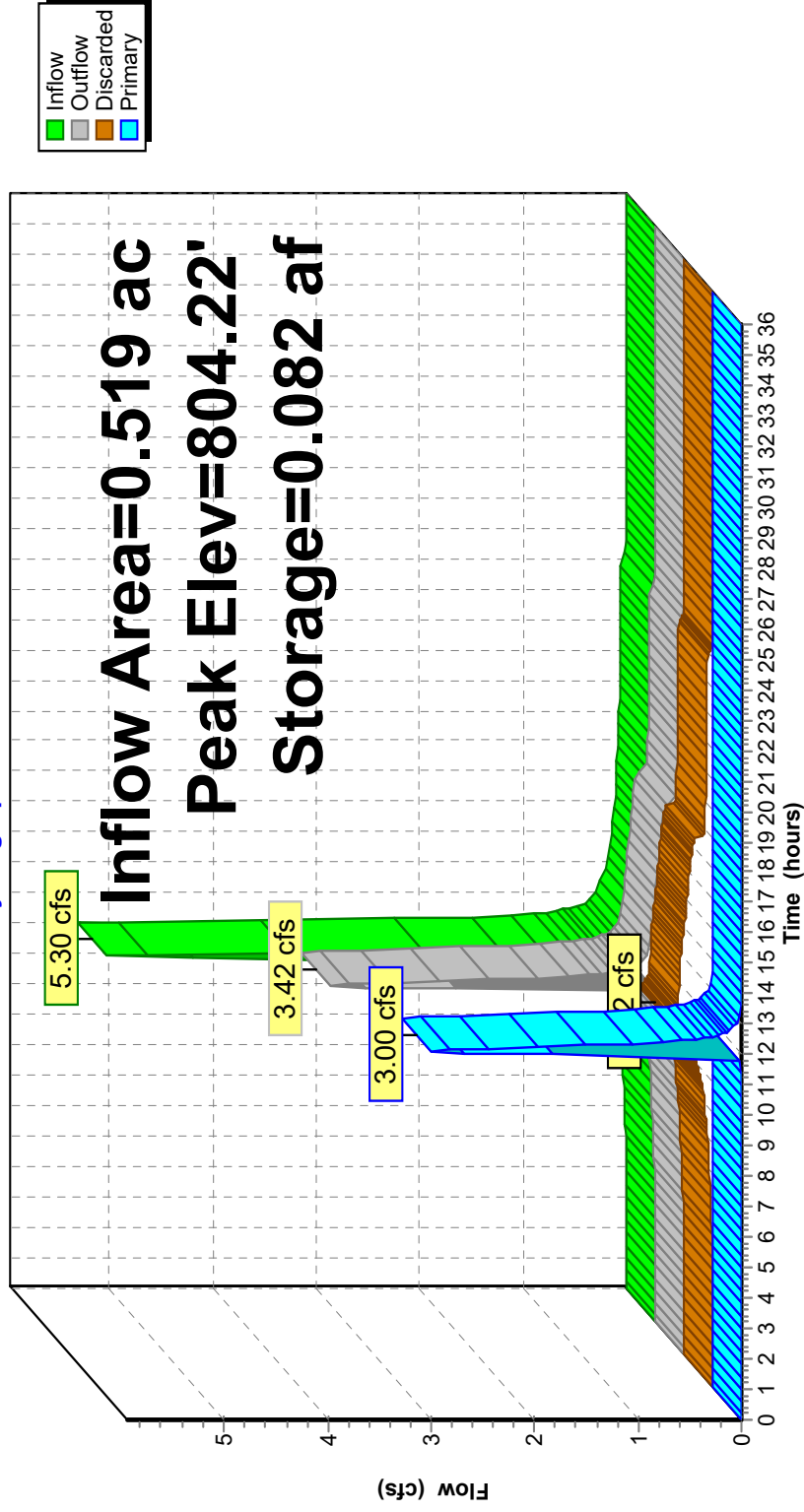
Prepared by Civil Design Works, LLC  
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Discarded OutFlow Max=0.42 cfs @ 12.11 hrs HW=804.19' (Free Discharge)  
 1=Exfiltration ( Controls 0.42 cfs)

Primary OutFlow Max=2.97 cfs @ 12.11 hrs HW=804.19' (Free Discharge)  
 2=Orifice/Grate (Orifice Controls 2.97 cfs @ 5.44 fps)  
 3=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

**Pond 5P: Stormtech**

**Hydrograph**



**2026-06-01 North Ridge Road Proposed**

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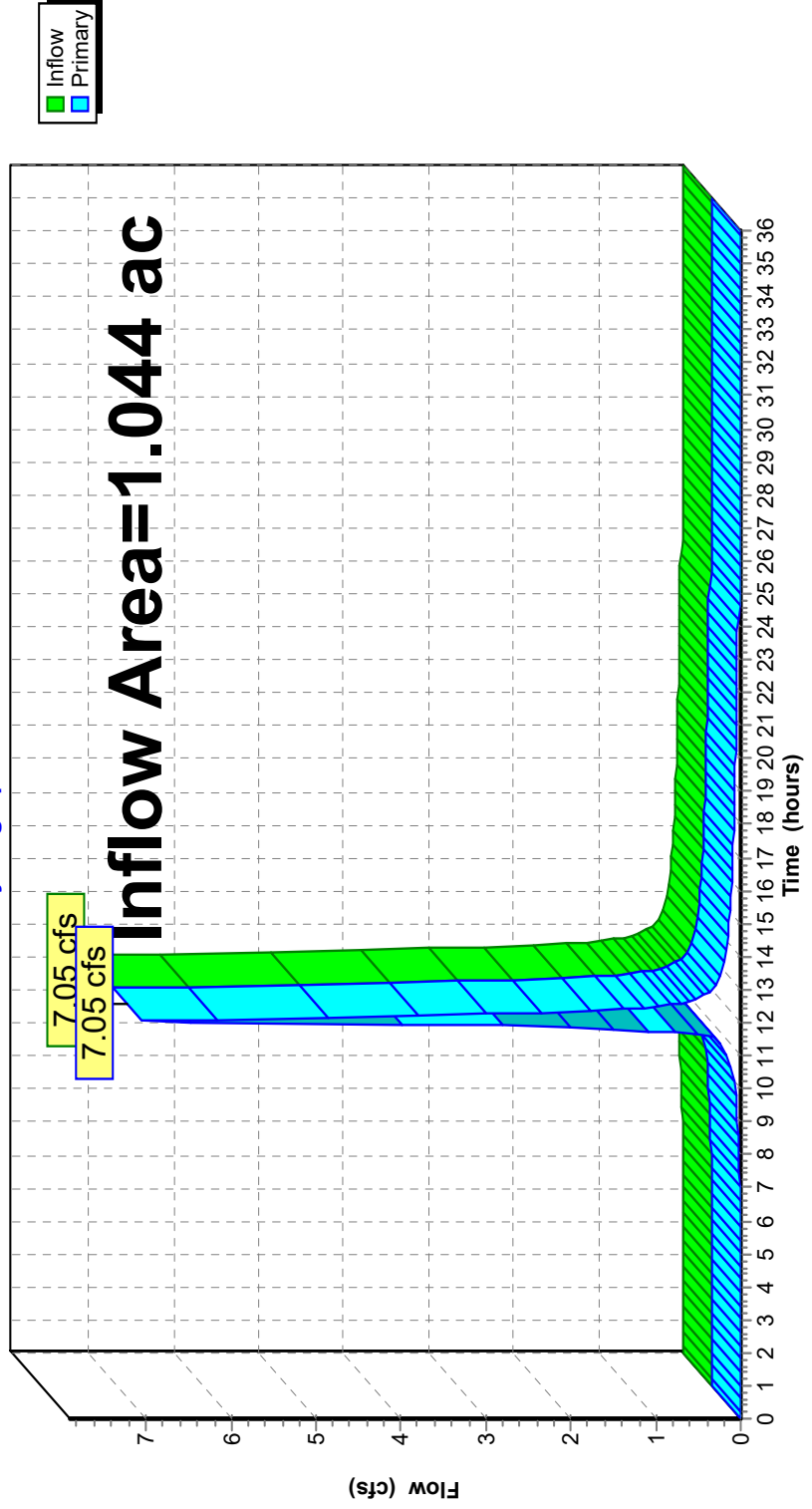
**Summary for Link 6L: Proposed**

Inflow Area = 1.044 ac, 47.17% Impervious, Inflow Depth = 4.00" for 100 year event  
 Inflow = 7.05 cfs @ 12.04 hrs, Volume= 0.348 af  
 Primary = 7.05 cfs @ 12.04 hrs, Volume= 0.348 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

**Link 6L: Proposed**

**Hydrograph**



**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC

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**Events for Subcatchment 8S: Bldg + North Parking**

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
2 year	3.67	1.57	0.087	2.00
10 year	5.80	3.01	0.169	3.91
100 year	<b>9.17</b>	<b>5.30</b>	<b>0.307</b>	<b>7.10</b>

**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC

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**Events for Subcatchment 9S: Direct to North Ridge Road**

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
2 year	3.67	1.07	0.059	1.36
10 year	5.80	2.40	0.132	3.02
100 year	<b>9.17</b>	<b>4.68</b>	<b>0.262</b>	<b>5.98</b>

**Events for Pond 5P: Stormtech**

Event	Inflow (cfs)	Outflow (cfs)	Discarded (cfs)	Primary (cfs)	Elevation (feet)	Storage (acre-feet)
2 year	1.57	0.27	0.27	0.00	801.57	0.028
10 year	3.01	0.92	0.35	0.57	802.91	0.058
100 year	<b>5.30</b>	<b>3.42</b>	<b>0.42</b>	<b>3.00</b>	<b>804.22</b>	<b>0.082</b>

**2026-06-01 North Ridge Road Proposed**

Prepared by Civil Design Works, LLC  
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**Events for Link 6L: Proposed**

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)
2 year	1.07	1.07	<b>0.00</b>
10 year	2.40	2.40	0.00
100 year	<b>7.05</b>	<b>7.05</b>	0.00



CHABAD  
OF THE  
HEIGHTS







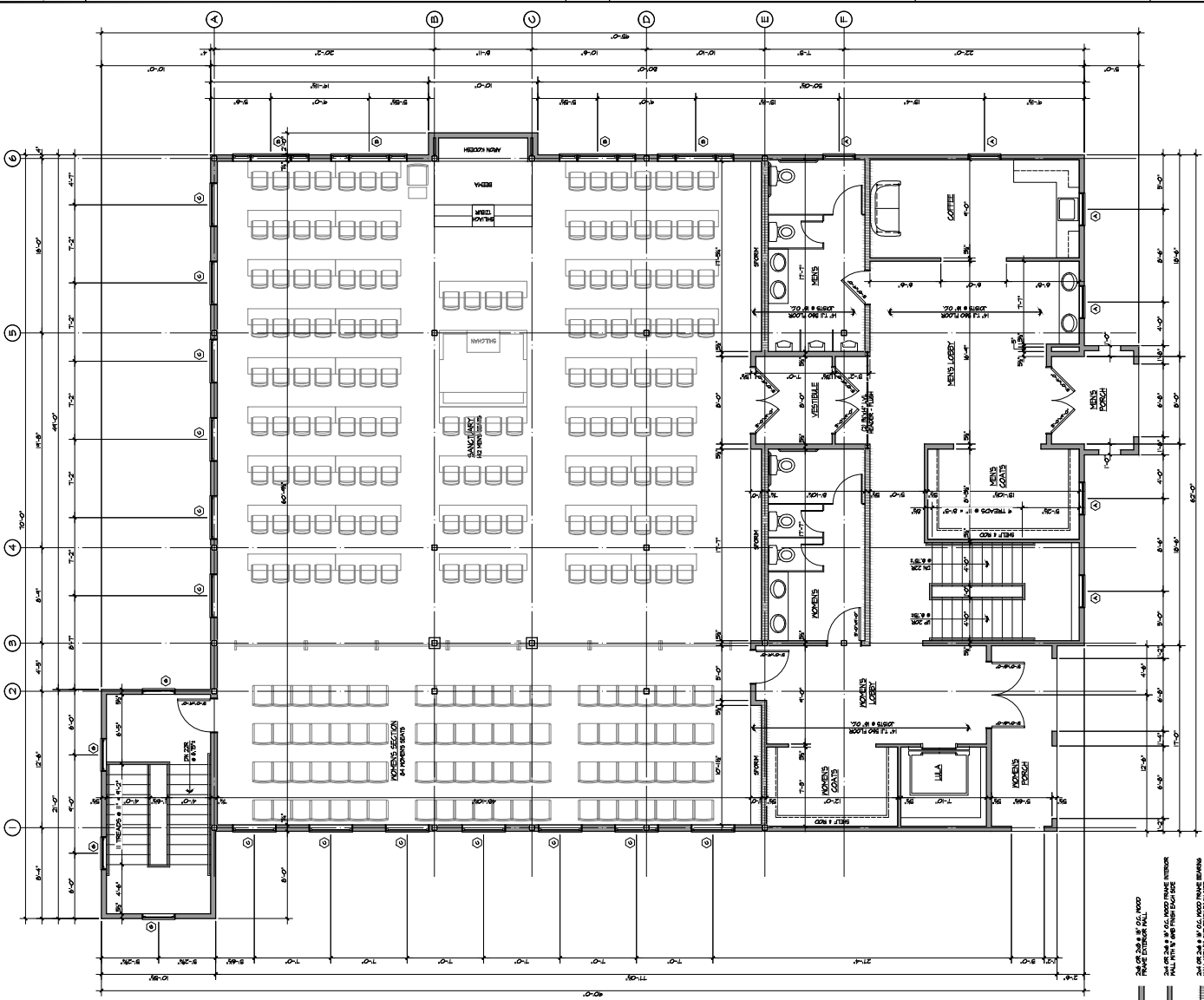
CHABAD OF THE HEIGHTS  
34 NORTH RIDGE ROAD, POMONA, NEW YORK

FIRST FLOOR PLAN

DATE	10/15/10
SCALE	AS SHOWN
PROJECT	CHABAD OF THE HEIGHTS
CLIENT	CHABAD OF THE HEIGHTS
ARCHITECT	ROSEBLUM ARCHITECTURE

ROSEBLUM ARCHITECTURE  
221 QUARRY ROAD  
BRIDGE PLAZA  
GREAT FALLS, NY 14305  
TEL: 716.426.1000  
WWW.ROSEBLUMARCHITECTURE.COM

A2



**FINISH LEGEND:**

LEVEL	WOOD
CEILING	WOOD
FLOOR	WOOD
WALL	WOOD
DOOR	WOOD

**PANEL TYPE LEGEND:**

- 2x4 WOOD FRAME INTERIOR WALL
- 2x4 WOOD FRAME EXTERIOR WALL WITH 1/2" GYPSUM BOARD
- 2x4 WOOD FRAME EXTERIOR WALL WITH 1/2" GYPSUM BOARD AND 1/2" POLYURETHANE INSULATION
- 2x4 WOOD FRAME EXTERIOR WALL WITH 1/2" GYPSUM BOARD AND 1/2" POLYURETHANE INSULATION AND 1/2" EXTERIOR FINISH

**SCALE:** 1/8" = 1'-0"

1 FIRST FLOOR PLAN

FLOOR AREA = 1408 SQUARE FEET

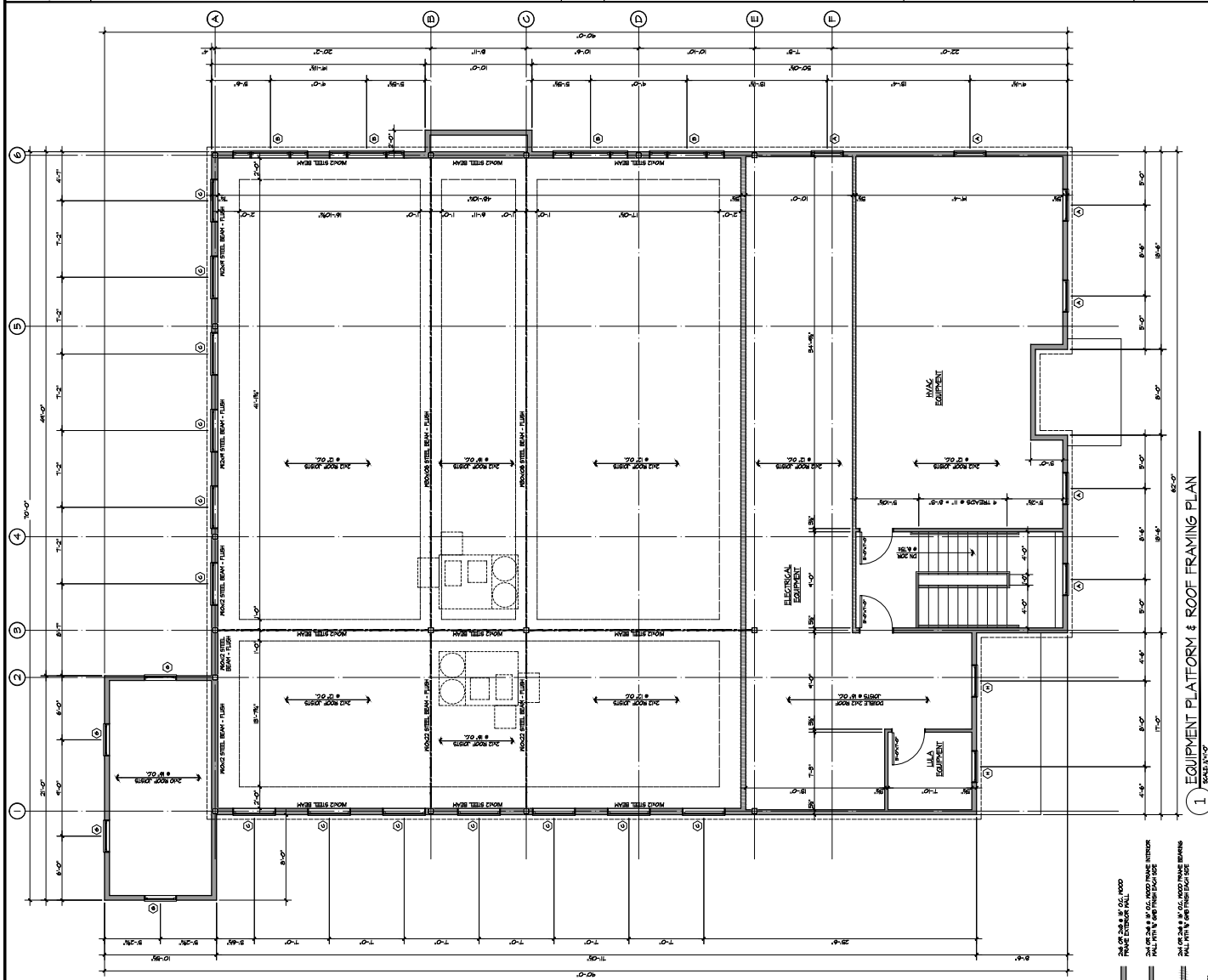


CHABAD OF THE HEIGHTS  
34 NORTH RIDGE ROAD, POMONA, NEW YORK  
EQUIPMENT PLATFORM & ROOF PLAN

DATE	10/15/13
BY	ML
CHECKED BY	ML
SCALE	AS SHOWN

ROSENBLUM  
ARCHITECTURE  
221 QUANTICO ROAD  
PO BOX 96433  
CANTON, NY 13618  
PHONE: 518-538-1232  
FAX: 518-538-1233  
WWW.ROSENBLUMARCHITECTURE.COM

A3



DESIGN LOADS	LIVE LOAD	DEAD LOAD
ROOF	20 PSF	10 PSF
FLOOR	40 PSF	10 PSF
MECH. ROOM	50 PSF	10 PSF
MECH. ROOM	50 PSF	10 PSF

WALL TYPE LEGEND

1 EQUIPMENT PLATFORM & ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0"

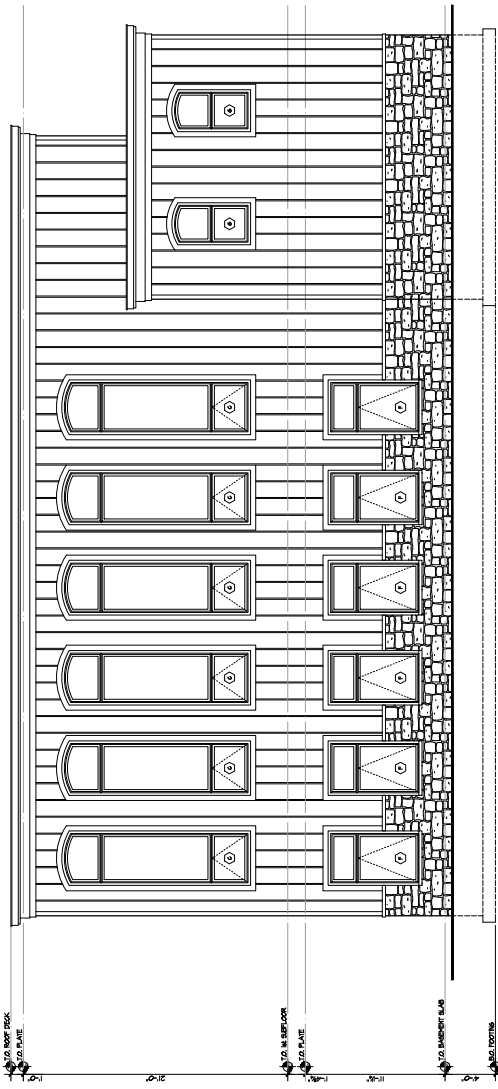


CHABAD OF THE HEIGHTS  
 34 NORTH RIDGE ROAD, POMONA, NEW YORK  
 NORTH & SOUTH ELEVATIONS

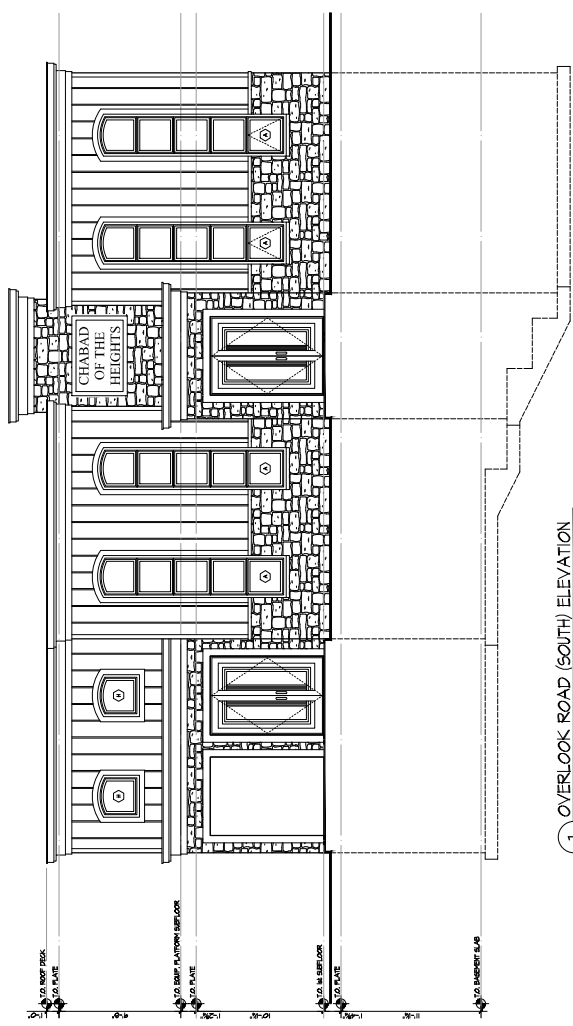
DATE	11/20/17
BY	11/20/17
NO.	11/20/17
REV.	11/20/17
DATE	11/20/17
BY	11/20/17
NO.	11/20/17
REV.	11/20/17

ROSENBLUM  
 ARCHITECTURE  
 221 QUANTICO ROAD  
 SUITE 100  
 GREAT NECK, NY 11020  
 516.466.8888  
 WWW.ROSENBLUMARCHITECTURE.COM

A4



2 NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"



1 OVERLOOK ROAD (SOUTH) ELEVATION  
 SCALE: 1/4" = 1'-0"

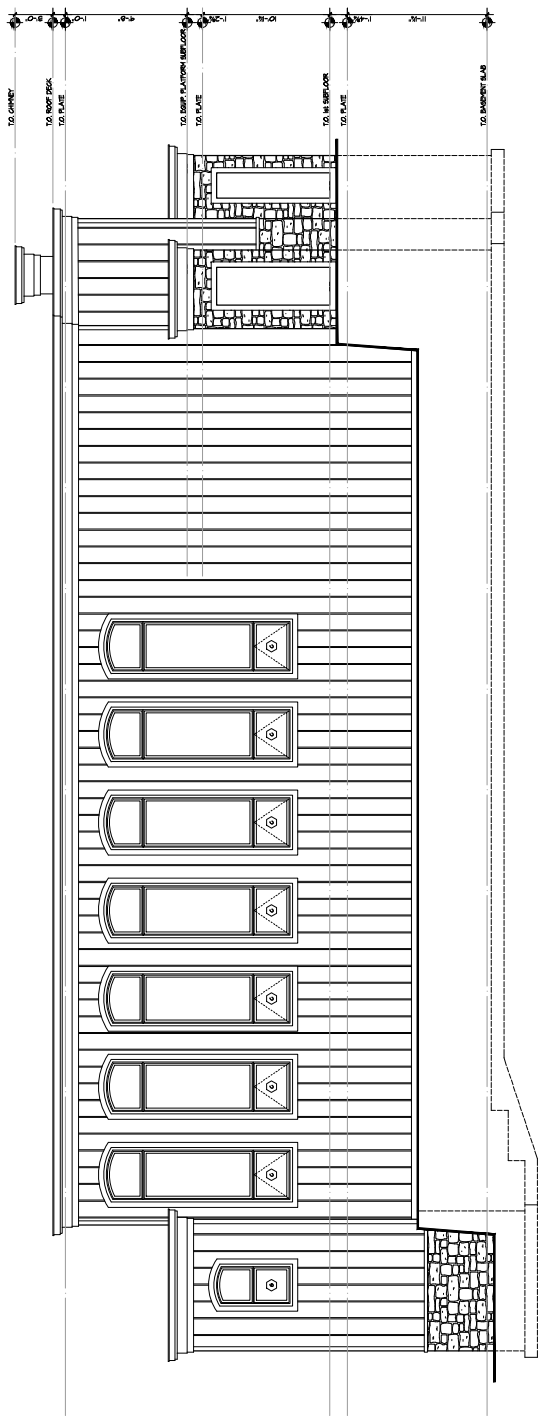


CHABAD OF THE HEIGHTS  
 34 NORTH RIDGE ROAD, POMONA, NEW YORK  
 EAST & WEST ELEVATIONS

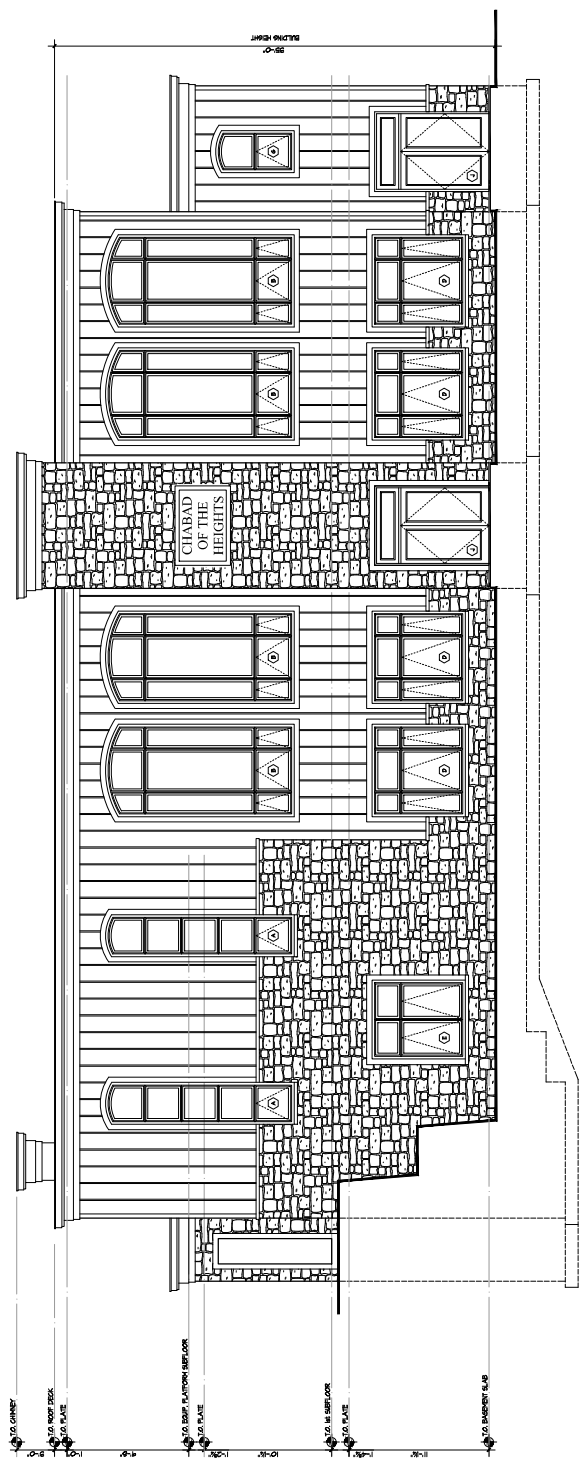
DATE	12-20-20
BY	RSB
NO.	12-20-20
PROJECT	CHABAD OF THE HEIGHTS

ROSENBLUM  
 ARCHITECTURE  
 221 QUARRY ROAD  
 ELIZABETH, NJ 07208  
 TEL: 908.486.1177  
 WWW.ROSENBLUMARCH.COM

A5



2 WEST ELEVATION  
ROAD VIEW



1 NORTH RIDGE ROAD (EAST) ELEVATION  
ROAD VIEW

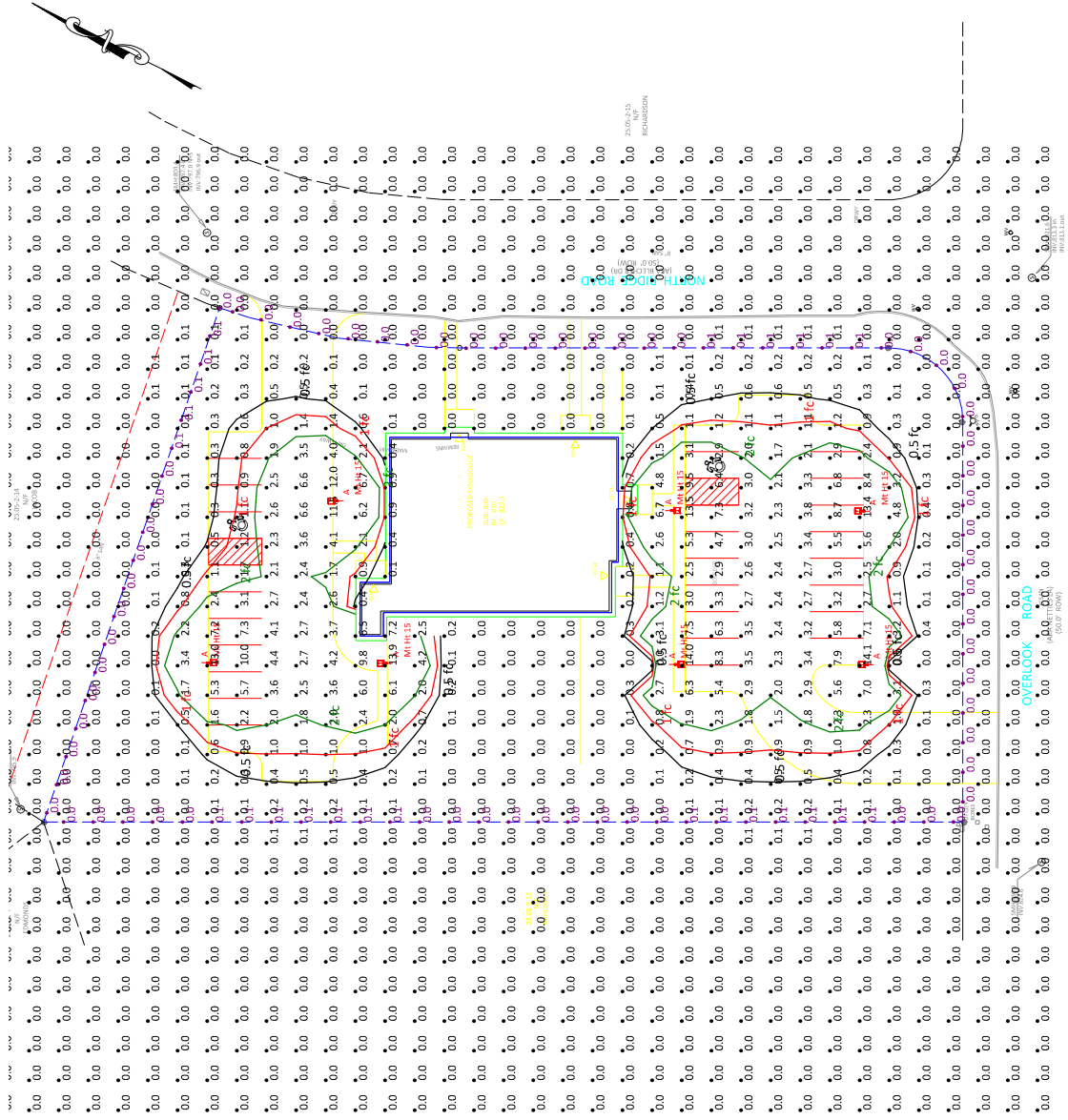


# Chabad of the Heights Pomona, NY

Drawn By: Patrick Carbone  
Checked By:  
Date: 11/25/2025  
Scale: As Noted

#	Date	Comments
1	11/25/2025	

**DAMIN SALES**  
Electrical Manufacturers Representatives



Scale: 1 inch= 20 Ft.

Luminaire Schedule				
Type	Symbol	Qty	Part #	Total Watts
A	<del>E</del>	7	A22.4T100 @100W with with A22 70-100HS shield	705.6

Fixture Color Legend
Standard
Emergency
LightCloud Controls
LightCloud Emergency
Non-LightCloud Controls

Isoline Legend	
Illuminance (Fc)	Value
Color	0.5
	1
	2

Luminaire Tag Summary	
Tag	Qty
A	7

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpclR	PtSpctb
CalcPis_1	Illuminance	Fc	0.47	14.1	0.0	N.A.	N.A.	10	10
Property Line (purple)	Illuminance	Fc	0.03	0.1	0.0	N.A.	N.A.	10	N.A.

#	Date	Comments
1	11/25/2025	

Revisions	

Drawn By: Patrick Carbone  
 Checked By:  
 Date: 11/25/2025  
 Scale: As Noted

Chabad of the Heights  
 Pomona, NY

Luminaire Location Summary			
Lum No	Label	Mt Ht	Tilt
1	A22-4T100 @100W with shield	15	0
2	A22-4T100 @100W with shield	15	0
3	A22-4T100 @100W with shield	15	0
4	A22-4T100 @100W with shield	15	0
5	A22-4T100 @100W with shield	15	0
6	A22-4T100 @100W with shield	15	0
7	A22-4T100 @100W with shield	15	0

Revisions	
#	Date
1	11/25/2025
	Comments

Drawn By: Patrick Carbone
Checked By:
Date: 11/25/2025
Scale: As Noted

## LIGHTING STANDARDS

The Illuminating Engineering Society (IES) provides guidelines for parking lot lighting in the document

"IES RP-20-14, Lighting for Parking Facilities."

These standards cover light level requirements, uniformity requirements, controls, and emergency

iii) High Activity Areas (e.g., shopping centers, large entertainment venues, urban areas):

- Average illuminance: 3.0 foot-candles (32.29 lux) lighting to ensure safety, security, and energy efficiency in parking lots.

Light Level Requirements:

IES RP-20-14 recommends different light levels based on the type of parking facility and the level of activity.

Horizontal illuminance at pavement level is as follows:

a) Open Parking Facilities:

i) Low Activity Areas (e.g., small retail, employee parking, rural areas):

- Average illuminance: 1.0 foot-candles (10.76 lux)

- Minimum illuminance: 0.25 foot-candles (2.69 lux)

- Uniformity ratio (average to minimum): 4:1

ii) Medium Activity Areas (e.g., commercial, industrial, suburban areas):

- Average illuminance: 2.0 foot-candles (21.53 lux)

- Minimum illuminance: 0.5 foot-candles (5.38 lux)

- Uniformity ratio (average to minimum): 4:1

- Minimum illuminance: 0.75 foot-candles (8.07 lux)

- Uniformity ratio (average to minimum): 4:1

Lighting controls in parking lots should be designed to optimize energy efficiency, adapt to changing conditions, and provide user customization. Options include:

a) Timers: To automatically turn lights on and off based on pre-set schedules.

b) Occupancy sensors: To detect motion and adjust lighting levels accordingly.

c) Dimming controls: To adjust light levels depending on the level of activity or time of day.

d) Daylight harvesting: To reduce electric lighting output when sufficient natural light is available.

## NOTES

\* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLF is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

\* Illumination values shown (in foot-candles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

\* The calculated results of this lighting simulation represent an anticipated prediction of system performance.

Actual measured results may vary from the anticipated performance and are subject

to means and methods which are beyond the control of Damini Sales.

## LIGHTING DESIGN DISCLAIMER

#	Date	Comments
1	11/25/2025	
Revisions		

Drawn By: Patrick Carbone
Checked By:
Date: 11/25/2025
Scale: As Noted



Color: Bronze

Weight: 11.2 lbs

Project:

Type:

Prepared By:

Date:

### Driver Info

Type	Constant
120V	0.83A/0.67A/0.50A
208V	0.48A/0.38A/0.25A
240V	0.42A/0.33A/0.25A
277V	0.72A/0.29A/0.22A
Input Watts	59.9-101W

### LED Info

Watts	100/80/60W
Color Temp	3000/4000/5000K
Color Accuracy	80-84 CRI
L70 Lifespan	100,000 Hours
Lumens	8,938-14,368 lm
Efficacy	128.9-160 lm/W

## Technical Specifications

### Field Adjustability

#### Field Adjustable:

Field Adjustable Light Output:  
100W/80W/60W (factory default: 100W)  
Color Temperature Selectable:  
3000K, 4000K and 5000K (factory default:4000K)

### Compliance

#### UL Listed:

Suitable for wet locations. Suitable for mounting within 4 ft (1.2m) of the ground.

#### IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

#### IP Rating:

Ingress protection rating of IP66 for dust and water

#### Trade Agreements Act Compliant:

This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act

#### DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.  
DLC Product Code: S-N4M58S

### Performance

#### Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

#### Wattage Equivalency:

100W: Replaces up to 400W Metal Halide (MH) or 310W High Pressure Sodium (HPS)  
80W: Replaces up to 350W Metal Halide (MH) or 250W High Pressure Sodium (HPS)  
60W: Replaces up to 250W Metal Halide (MH) or 200W High Pressure Sodium (HPS)

### Electrical

#### Driver:

Constant Current, Class 1, 120-277V, 50/60 Hz:  
100W: 120V: 0.83A, 208V: 0.48A, 240V: 0.42A, 277V: 0.36A  
80W: 120V: 0.67A, 208V: 0.38A, 240V:0.33A, 277V: 0.29A  
60W: 120V: 0.5A, 208V: 0.29A, 240V:0.25A, 277V: 0.22A

#### Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

#### THD:

3.25% at 120V, 5.82% at 277V

### Power Factor:

99.7% at 120V, 94.5% at 277V

### 7-Pin Receptacle with Shorting Cap:

ANSI C136.41 7-pin receptacle, compatible with wireless control systems

### Surge Protection:

6 kV

### Construction

#### IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

#### Cold Weather Starting:

The minimum starting temperature is -40°F (-40°C)

#### Maximum Ambient Temperature:

Suitable for use in up to 104°F (40°C)

#### Lens:

Polycarbonate lens

## Technical Specifications (continued)

### Housing:

Die-cast aluminum

### Effective Projected Area:

1 Fixture: 0.3

2 Fixtures: 0.7

3 Fixtures: 1.2

4 Fixtures: 1.2

### Finish:

Formulated for high durability and long-lasting color

### Gaskets:

High-temperature silicone gaskets

### Green Technology:

Mercury and UV free. RoHS-compliant components.

## LED Characteristics

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### LEDs:

Long-life, high-efficacy, surface-mount LEDs

### Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

## Optical

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### BUG Rating:

Type 4

100W: B2 U0 G2

80W: B2 U0 G2

60W: B2 U0 G2

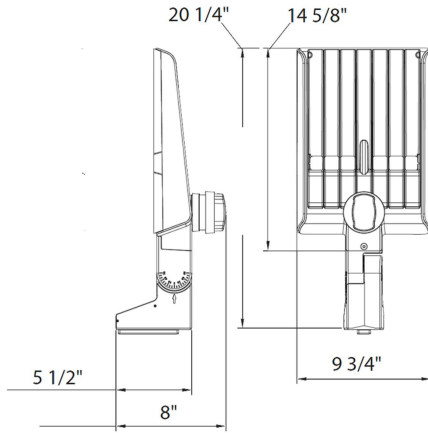
## Other

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### 5-Year Limited Warranty:

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

## Dimensions



## Features

- DLC Premium listed
- Adjustable Universal Pole Mount
- 7-Pin Receptacle with Shorting Cap
- IP66 Rated
- 100,000-Hour LED lifespan
- 5-Year, limited warranty

## Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver	Options
A22	-	4T	100				
	2T = Type II 4T = Type IV 5T = Type V Blank = Type III	70 = 70/60/50W 100 = 100/80/60W 150 = 150/120/100W 200 = 200/180/160W 320 = 320/280/250W	Blank = Universal Adjustable Pole Mount Blank = Universal Non-Adjustable Pole Mount	Blank = 3000/4000/5000K CCT Adjustable Y = 3000K	Blank = Bronze W = White B = Black	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming	Blank = 7-Pin Receptacle with Shorting Cap /MVS = 7-Pin Receptacle with Shorting Cap and Microwave Motion Sensor /LCBS = Lightcloud Blue w/PIR Sensor /LCBS/MVS = Lightcloud Blue w/MVS Sensor